

PROJECT INFORMATION

ASSESSOR'S PARCEL NUMBER:

233-371-14, 233-371-15

GROSS SITE AREA:

20,000 SF (0.46 ACRES, APPROX.)

LOT COVERAGE:

72.8%

PROJECT DESCRIPTION:

The proposed 21- unit mixed use development will be (4) stories of new construction with a single level of Type IA construction at grade and (3) levels of Type VA construction above, situated on an approximate 20,000 SF lot currently occupied by single- level businesses and at-grade parking. The ground level will include commercial spaces, building utility spaces, a residential lobby and entry courtyard with an exterior terrace at Level 2 serving the residential units at levels 2-4 above. The site is located at the northwest corner of the intersection of South Escondido Boulevard and West 9th Avenue and will provide (27) total at-grade parking spaces for residential use. These spaces will have two-way access from West 9th Avenue with a secondary exit located into the alley to the north. The proposed development fronts South Escondido Boulevard and West 9th Avenue with dedicated sidewalk plaza/ cafe areas for future commercial use and a small residential entry plaza providing connectivity to the private entry courtyard via the secure residential entry.

EXISTING USE:

Arterial Commercial

CONSTRUCTION TYPE:

(1) Level Type IA and (3) levels Type VA, fire sprinklered per NFPA 13 and fire alarmed per NFPA 72

DEFERRED APPROVAL:

Underground Fire Sprinkler Permit

UNIT MIX

One Bedroom:	1,010 GSF w/ 93 SF Private Balcony	(4 total)
2 Bedroom Type A:	1,266 GSF w/ 85 SF Private Balcony	(6 total)
2 Bedroom Type B:	1,168 GSF w/ 126 SF Private Balcony	(3 total)
2 Bedroom Type C:	1,137 GSF w/ 56 SF Private Balcony	(3 total)
2 Bedroom Type D:	1,061 GSF w/ 103 SF Private Balcony	(3 total)
2 Bedroom Type D.1:	1,054 GSF w/ 103 SF Private Balcony	(2 total)

Level 2:	Level 3:	Level 4:
(3) 1BR	(1) 1BR	
(2) 2BR Type A	(2) 2BR Type A	(2) 2BR Type A
(1) 2BR Type B	(1) 2BR Type B	(1) 2BR Type B
(1) 2BR Type C	(1) 2BR Type C	(1) 2BR Type C
(1) 2BR Type D	(1) 2BR Type D	(1) 2BR Type D
(1) 2BR Type D.1	(1) 2BR Type D.1	

SHEET INDEX

- TS1 Title Sheet
- TS2 Site Context
- A1 Site Plan
- A2 Ground Level Plan
- A3 Level 2 Plan
- A4 Level 3 Plan
- A5 Level 3 Plan
- A6 Roof Plan
- A7 Enlarged Unit Plans
- A8 Enlarged Unit Plans
- A9 Exterior Elevations
- A10 Exterior Elevations
- A11 Perspective Renderings & Material/Finish Board
- C1 Precise Grading Plan
- C2 Private Utility Plan
- C3 Erosion Control Plan
- C4 Site View @ Intersection
- L1 Landscape Plan
- L2 Courtyard Plan

TS1 Title Sheet

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AREA SUMMARY

Notes:

Gross areas include the following: Exterior face of walls, stairs at each level, one level of elevator (Level 1) and exterior corridors at each level.

Total Gross Square Footage (GSF)

Level 1	14,565 GSF total
	6,700 SF Covered Parking
	4,200 SF Commercial
	900 SF Utility
	1,252 SF Residential Use
	1,513 Residential Courtyard
Level 2	10,469 GSF total
	7,174 GSF Residential
	3,295 SF Corridor & Terrace
Level 3	8,441 GSF total
	6,864 GSF Residential
	1,577 SF Corridor
Level 4	6,381 GSF total
	5,059 GSF Residential
	1,322 SF Corridor

Overall Total 39,856 GSF

HEIGHT SUMMARY

Per CBC definitions, 'Height, Building': The vertical distance from grade plan to the average height of the highest roof surface.

Per CBC 504.3 Exception: Towers, spires, steeples and other rooftop structures shall be constructed of materials consistent with the required type of construction of the building except where other construction is permitted by Section 1511.2.4. Such structures shall not be used for habitation or storage. The structures shall be unlimited in height where of noncombustible materials and shall not extend more than 20 feet (6069 mm) above the allowable building height where of combustible materials.

Proposed development average roof height = 43'-8"
(See A7 & A8 for additional information)

PARKING DATA

Residential Parking Calculation

Per Density Bonus Tabulations:
0 - 1BR = 1 space/unit @ (4) units = 4 spaces
2BR - 3BR = 2 space/unit @ (17) units = 34 spaces
Total = 38 spaces

Allowable 25% reduction in required parking for unit type (subject to Administrative Adjustment) = $38 \times 0.75 = 28.5$
28.5 (reduction per Sec. 33-776) = 28 spaces required

Residential Standard Parking Spaces	14 spaces
Residential Tandem Parking Spaces	12 spaces
Accessible Parking Spaces	1 space
Total Provided	27 spaces

Residential Motorcycle Parking 2 spaces

Bicycle Parking per Specific Plan 5.4.5.1:
0.5 per dwelling unit up to 30 units $21 \times 0.5 = 10.5$ required
12 provided



CHARACTER SKETCH



VICINITY MAP



STREET LEVEL CHARACTER SKETCH

PROJECT TEAM

Owner: 9th Avenue Escondido LLC
11341 Treyburn Way
San Diego, CA 92131

Civil Engineer: 4C Engineering + Geomatics
Dolvin Buchanan
4960 N Harbor Drive Ste 200
San Diego, CA 9210

Entitlements: J. Whalen Associates, Inc.
2851 Camino del Rio S. #200A
San Diego, CA 92108

Landscape Architect: Howard Associates
John Howard
1951 Fourth Avenue, Suite 302
San Diego, CA 92101

Architect: Studio E Architects
Eric Naslund
2258 First Avenue
San Diego, CA 92101

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S ESCONDIDO BLVD LOOKING SOUTH WEST



CORNER OF S ESCONDIDO BLVD + W 9TH AVE



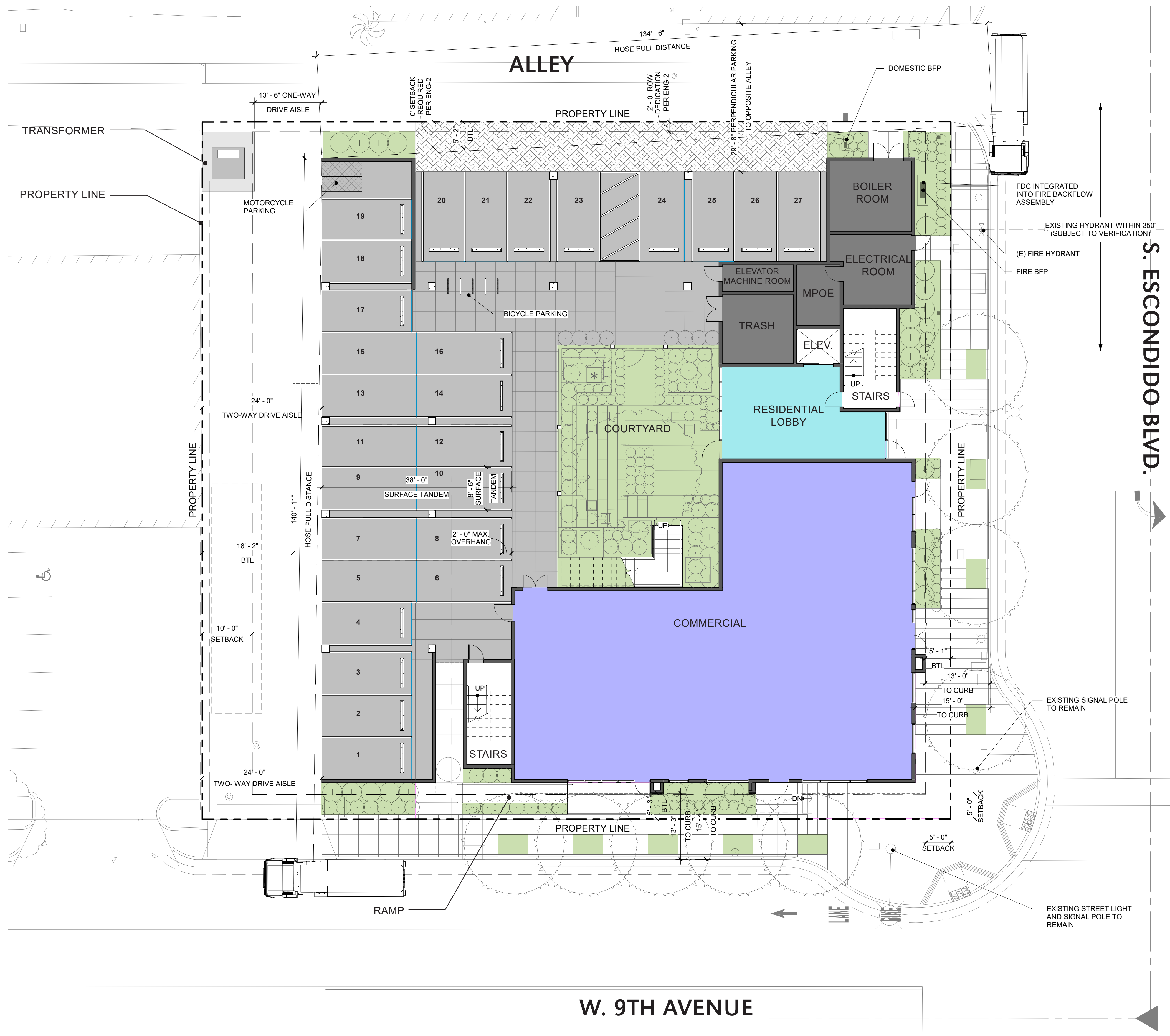
W 9TH AVE LOOKING NORTH



ALLEY LOOKING NORTH

TS2 Site Context

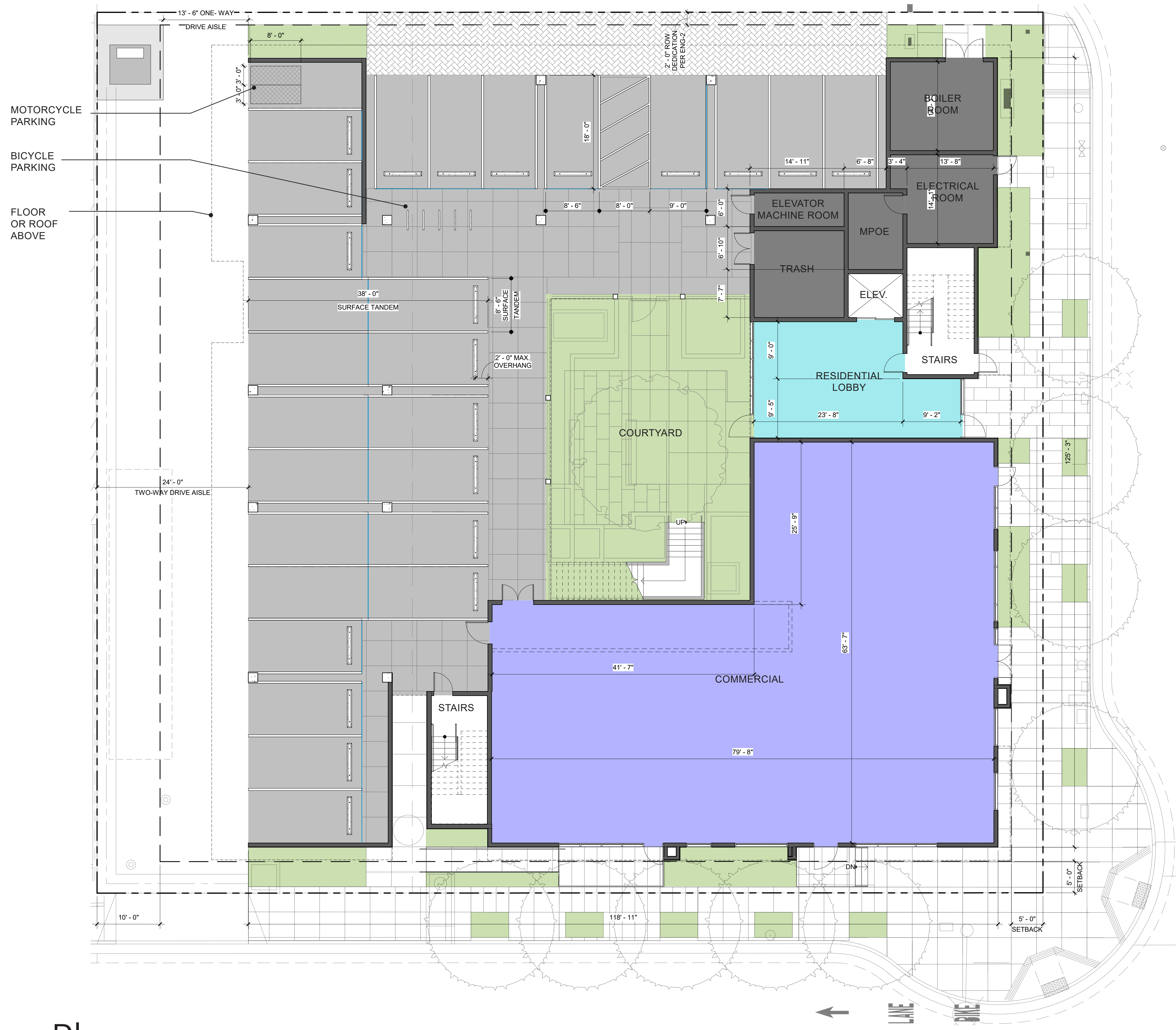
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A1 Site Plan

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LEGEND

- Residential
- Private Residential Balcony
- Utility
- Commercial
- Common Outdoor

A2 Ground Floor Plan

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A3 Level 2 Plan

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LEGEND

- Residential
- Private Residential Balcony
- Utility
- Residential Storage @ 80 cu ft/unit

A4 Level 3 Plan

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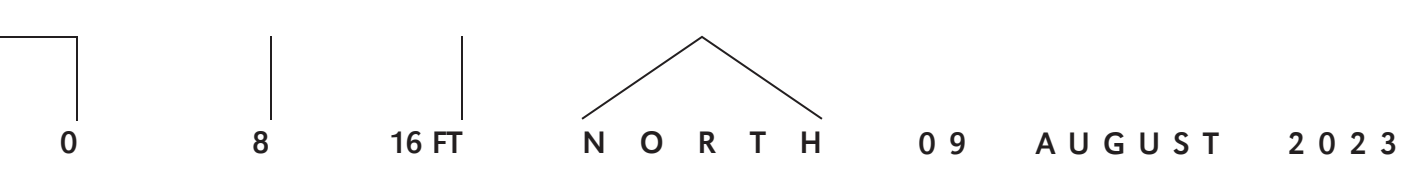
LEGEND

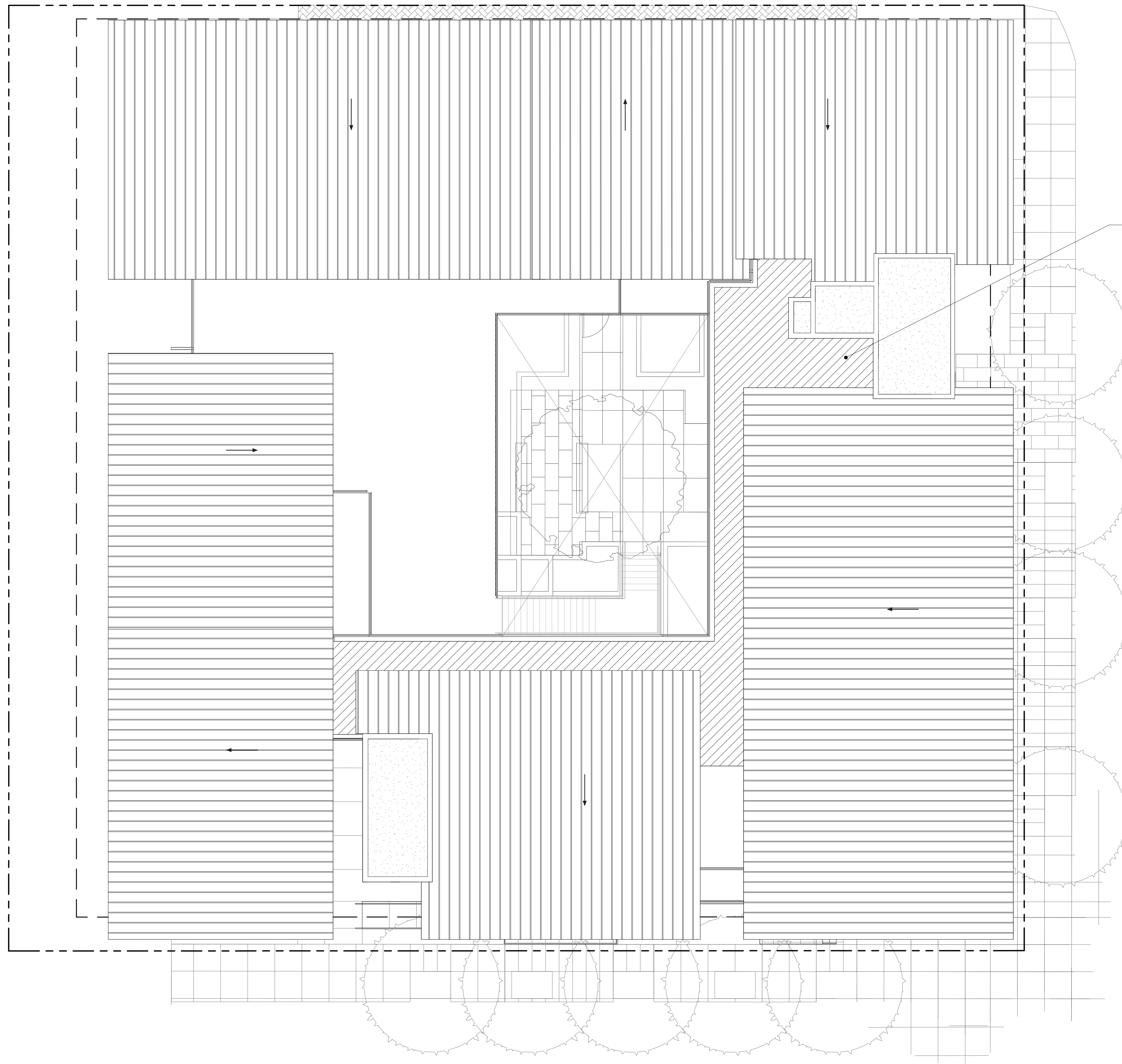
- Residential
- Private Residential Balcony
- Utility
- Residential Storage @ 80 cu ft/unit

A5 Level 4 Plan



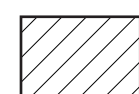
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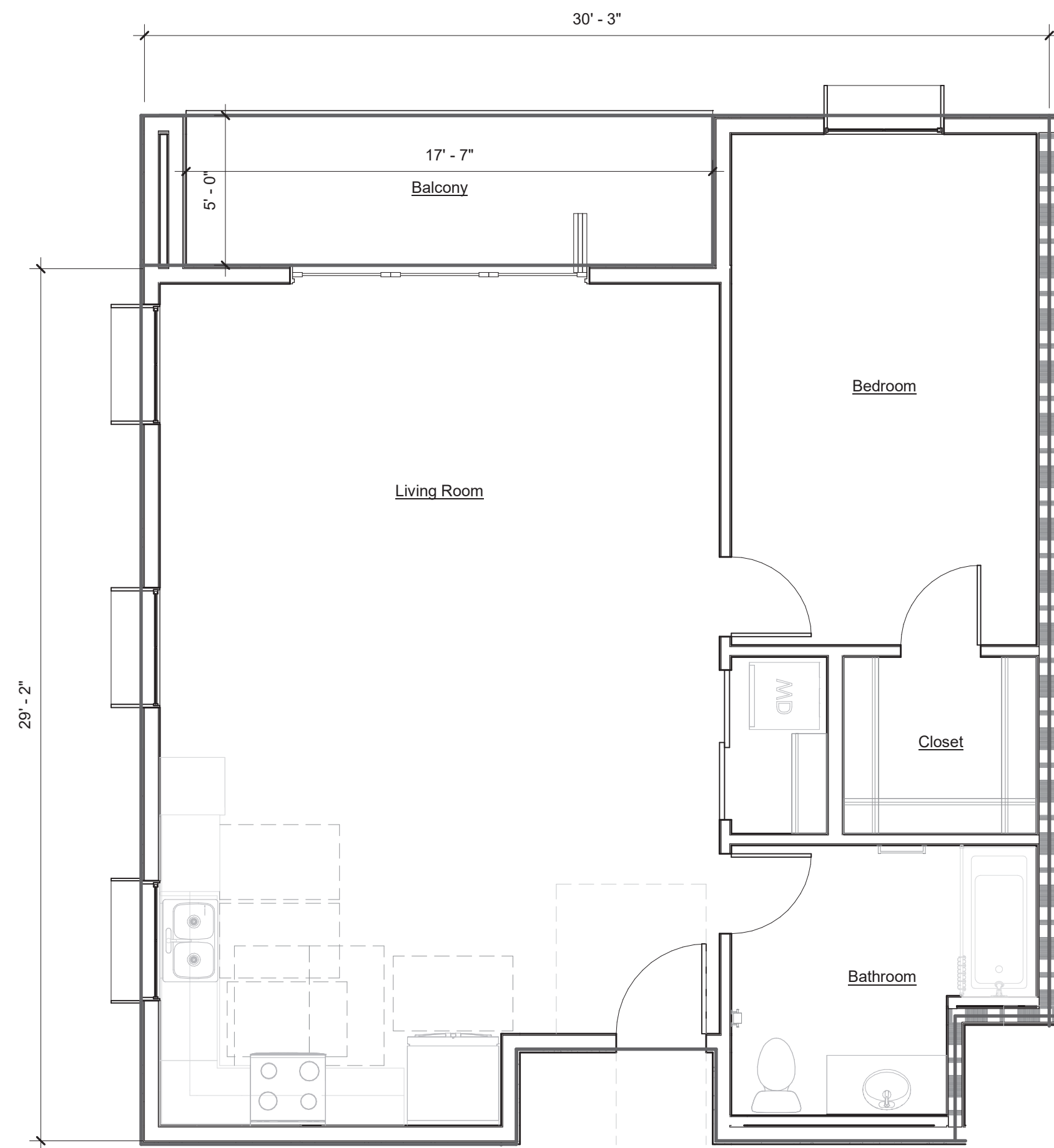
LEGEND

-  Standing Seam Metal Roof
-  TPO Roof
-  Location of Mechanical Equipment

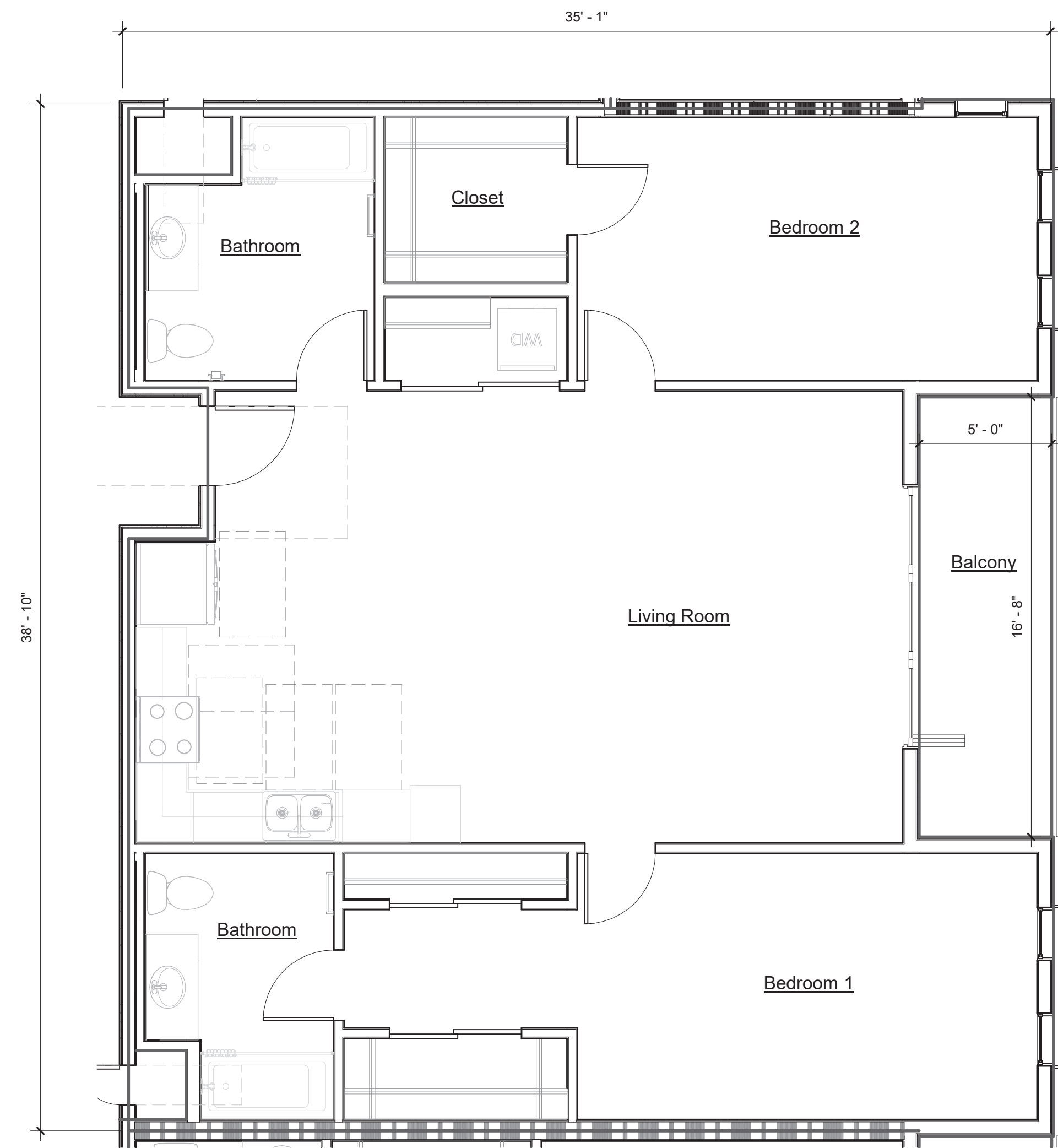
HATCHED AREA INDICATED LOCATION OF MECHANICAL EQUIPMENT FOR BUILDING HVAC (TO BE SCREENED FROM VIEW BELOW)

A6 Roof Plan

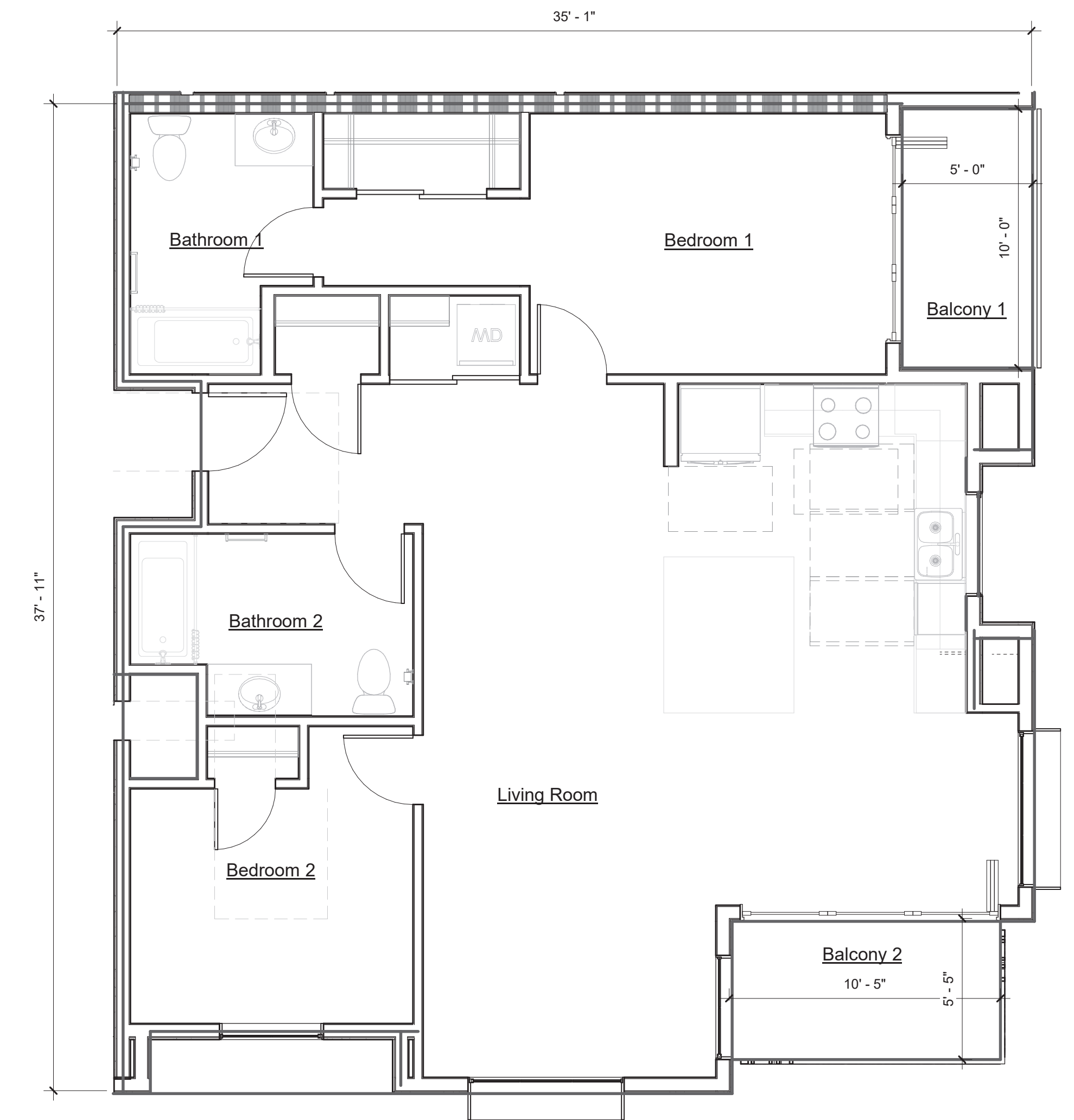
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1 BR UNIT



2 BR UNIT A



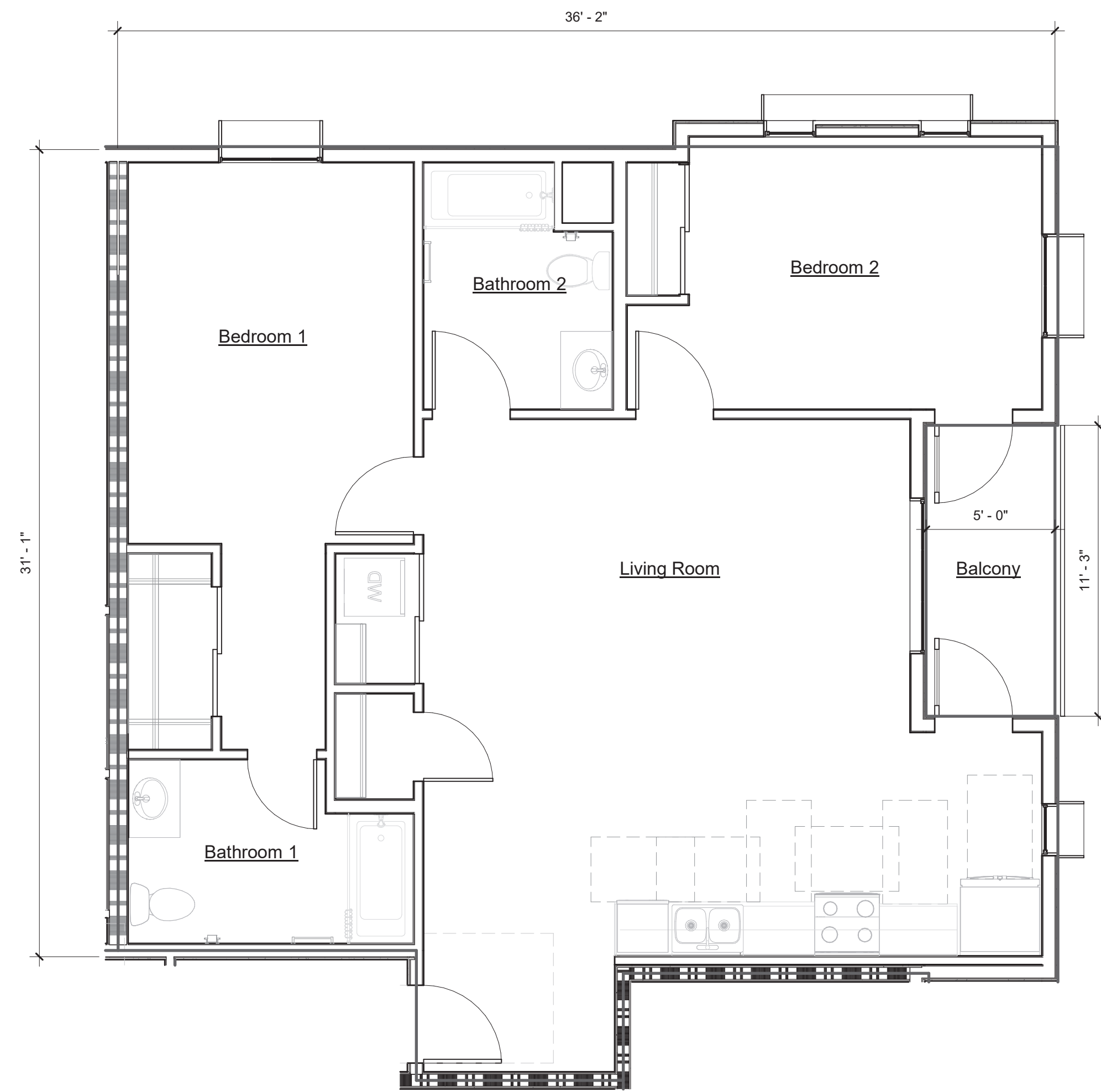
2 BR UNIT B

A7 Enlarged Unit Plans

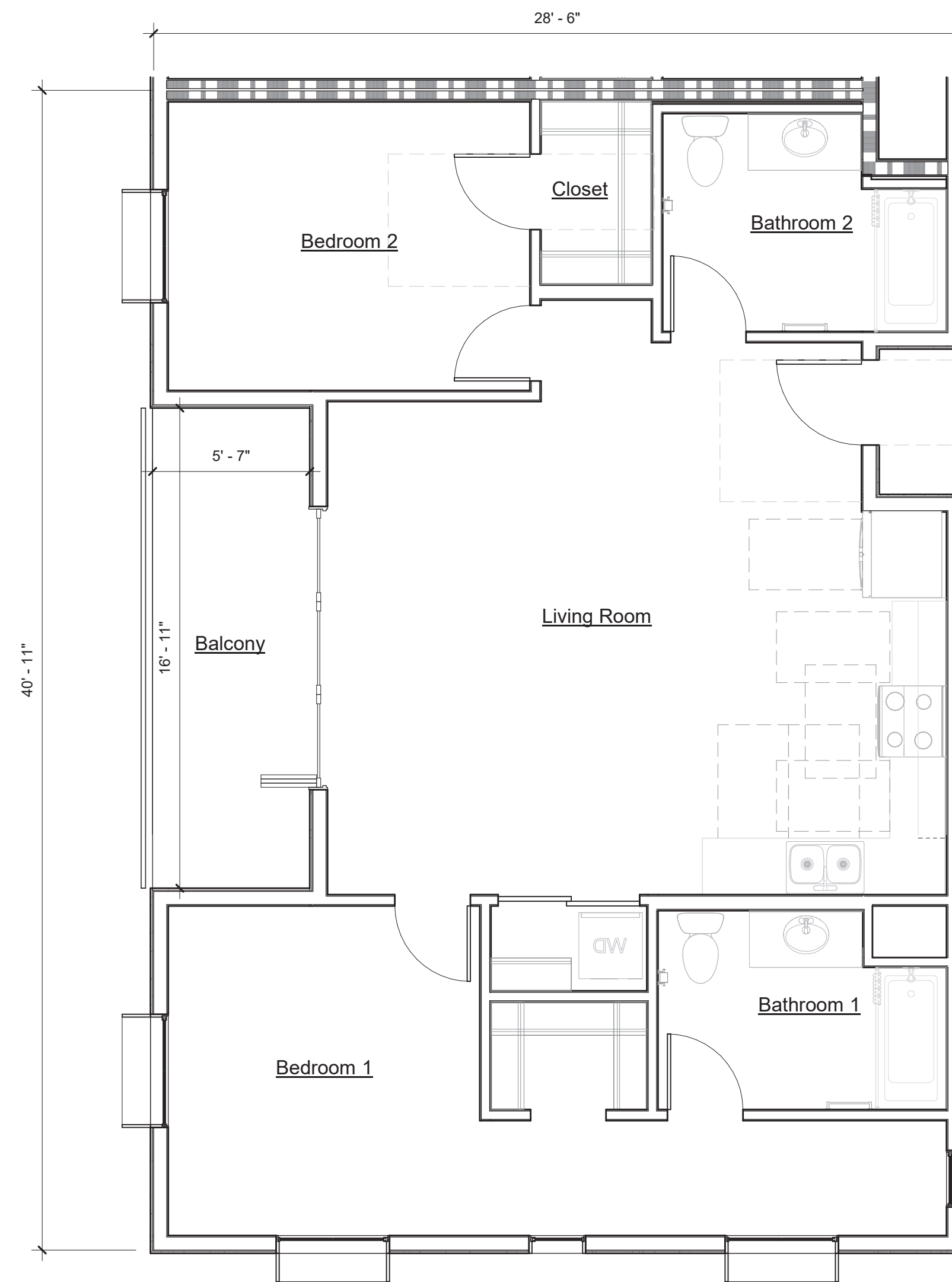
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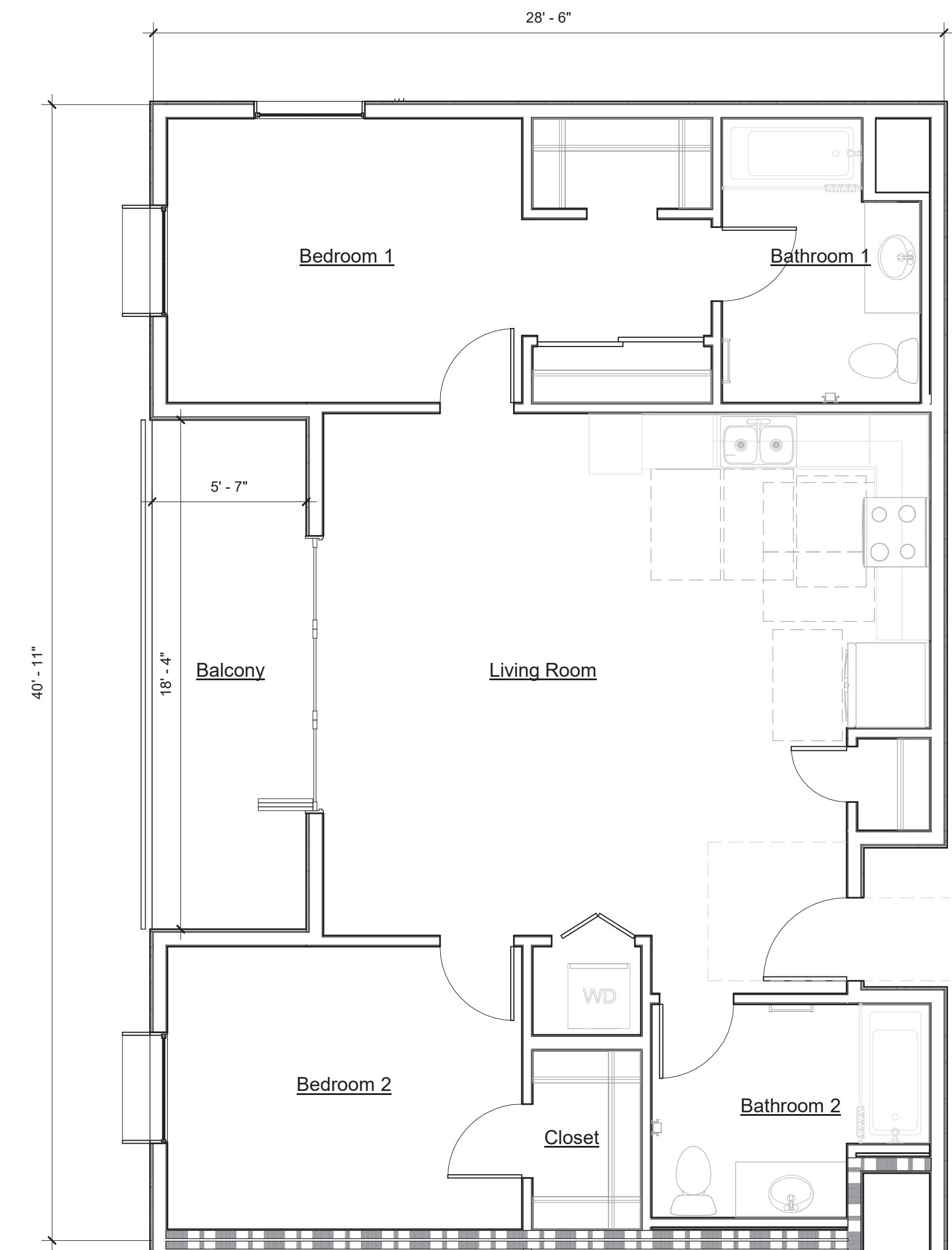




2 BR UNIT C



2 BR UNIT D



2 BR UNIT D.1

A8 Enlarged Unit Plans

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09 AUGUST 2023



North Elevation



South Elevation

A9 Exterior Elevations

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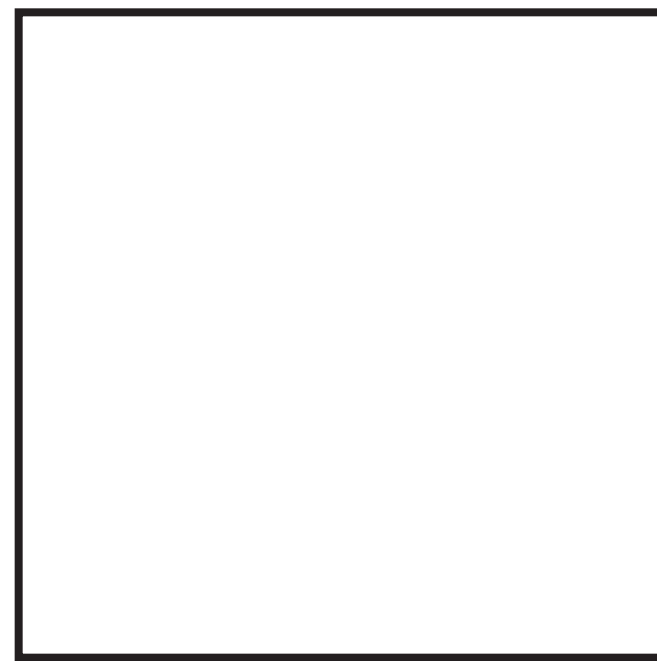
East Elevation



West Elevation

A10 Exterior Elevations

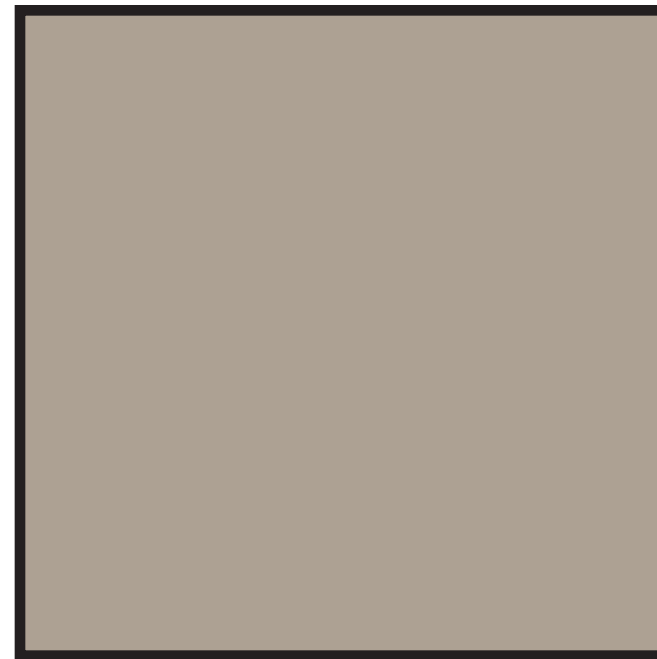
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Field Plaster:
Colorhexa eae8eb



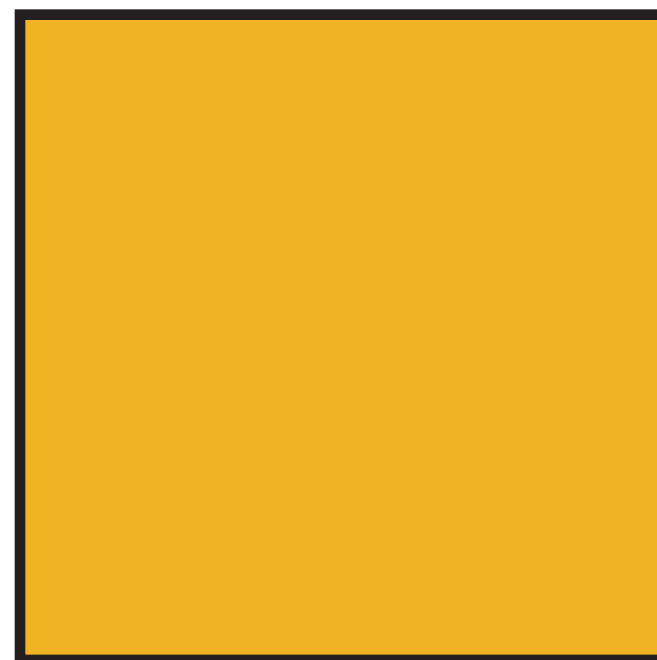
Railing Systems:
Terracotta tones



Accent Plaster 1:
SW 0037- Morris Room Gray



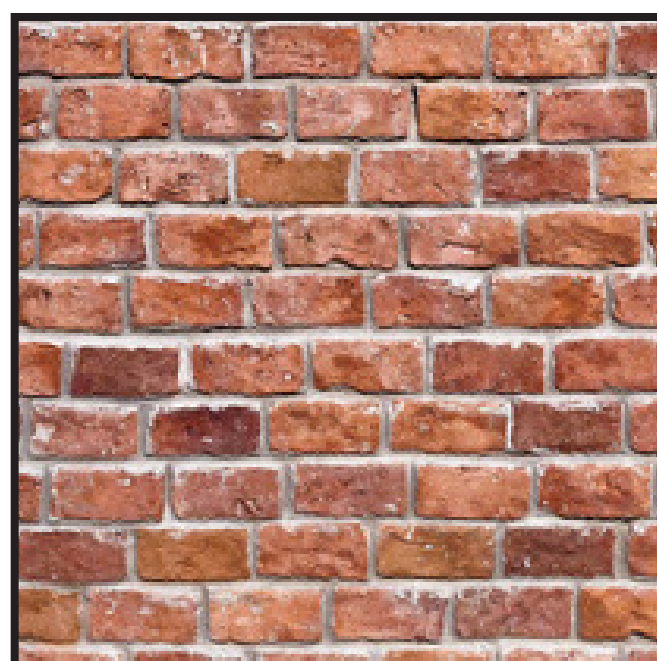
Building Corner Screen
Window Frames
Storefront Frames
Window Sunshades
Metal Fascia:
SW 7048- Urbane
Bronze



Accent Plaster 2:
Pantone 7409 C Fuel Yellow



Vertical Wood Siding:
Wall Recesses



Traditional Brick (vener):
Level 1 Walls



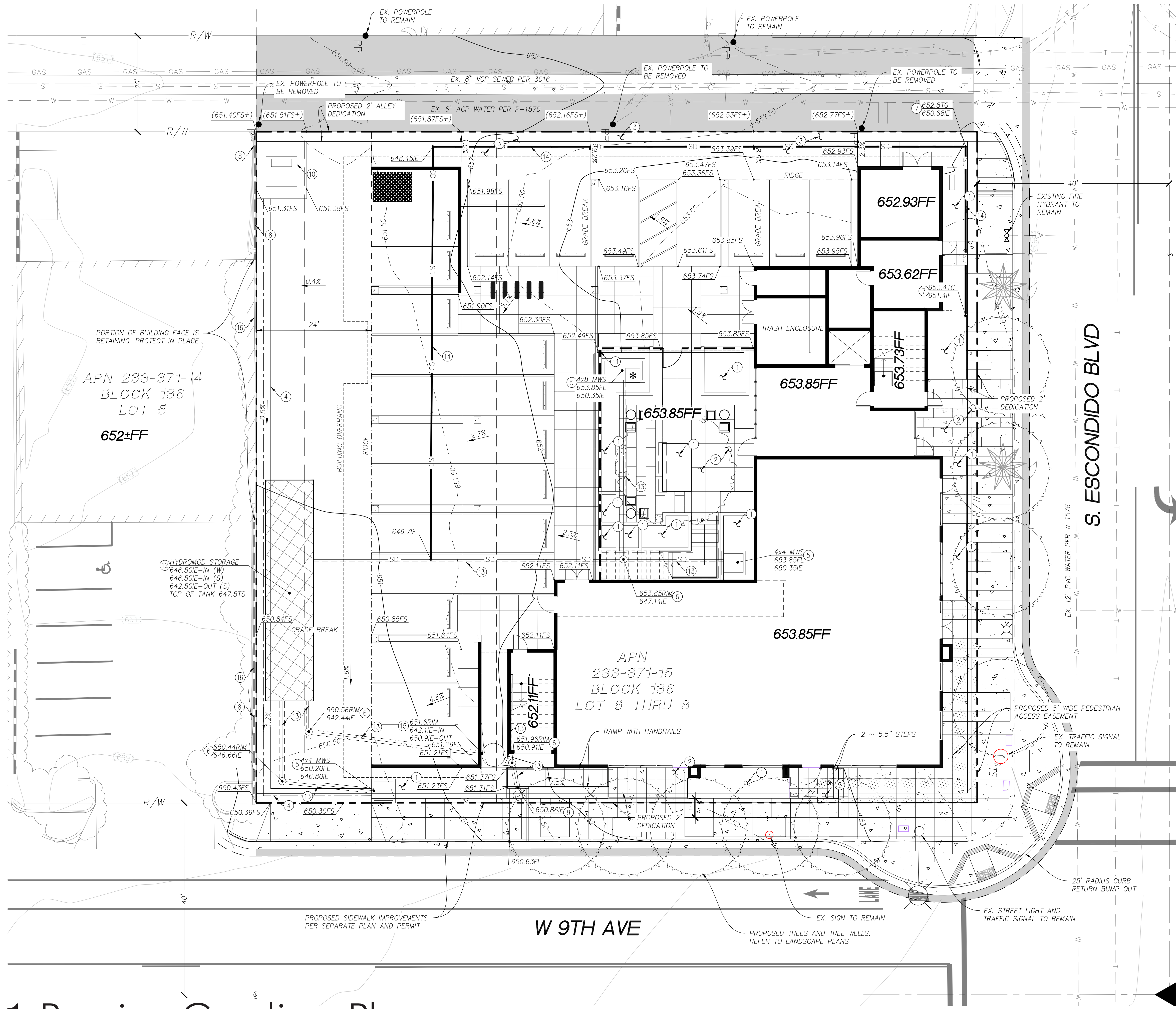
PERSPECTIVE VIEW FROM STREET INTERSECTION



PERSPECTIVE VIEW LOOKING NORTHEAST FROM WEST 9TH AVE.

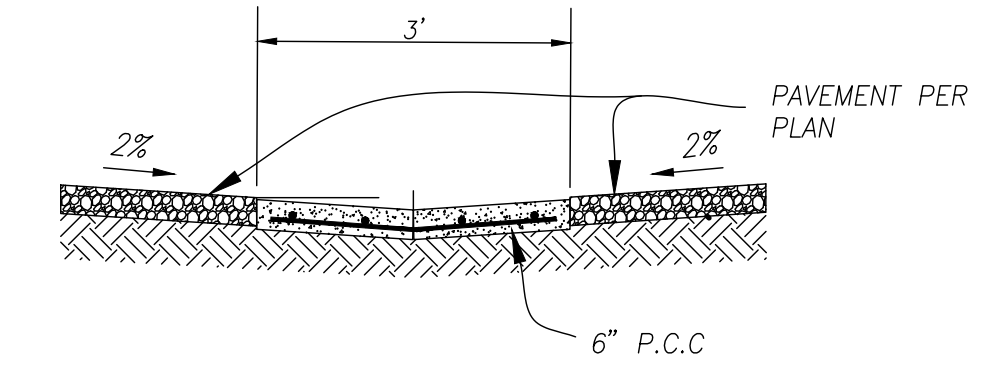
A11 Perspective Renderings & Material/Finish Board

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- CONSTRUCTION NOTES:**
- PLANTING PER LANDSCAPE ARCHITECT PLANS.
 - P.C.C. HARDSCAPE PER LANDSCAPE ARCHITECT PLANS.
 - PERMEABLE PAVERS, SEE DETAIL PER LANDSCAPE ARCHITECT PLANS.
 - 3' WIDE RIBBON CUTTER, SEE DETAIL ON THIS SHEET.
 - MWS BIOFILTRATION TREATMENT, SIZE PER PLAN.
 - PROPOSED 24" NYLOPLAST ADS BASIN WITH SOLID COVER.
 - 6" ATRIUM GRATED DRAIN.
 - EXISTING RETAINING WALL TO REMAIN, PROTECT IN PLACE.
 - CONNECT TO PROPOSED CURB OUTLET. SEE PUBLIC IMPROVEMENT PLANS, XXXXXX.
 - TRANSFORMER PAD PER ELECTRIC PLANS.
 - DOWNSPOUT LOCATION PER ARCHITECT PLANS.
 - HYDROMOD STORAGE FACILITY. X,XXXCF REQ'D. X,XXXCF PROVIDED
 - 12" HDPE STORM DRAIN.
 - 4" PVC AREA DRAIN.
 - PUMP VAULT AND CISTERN.
 - CONTRACTOR TO PROVIDE WATER PROOFING/VAPOR BARRIER BETWEEN EXISTING WALL AND BUILDING, MARAFI MTK OR APPROVED EQUAL.

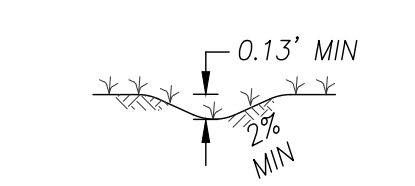
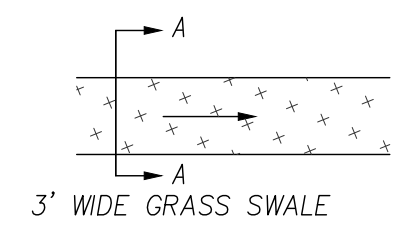
- GENERAL NOTES**
- IMPROVEMENTS PER SEPARATE PLAN AND PERMIT, SEE DRAWING XXXXXX.
 - ALL OVERHEAD UTILITIES WILL BE UNDERGROUNDED AND POLES REMOVED.
 - EXISTING PALM TREES TO BE REMOVED; NEW TREE WELLS AND TREES.



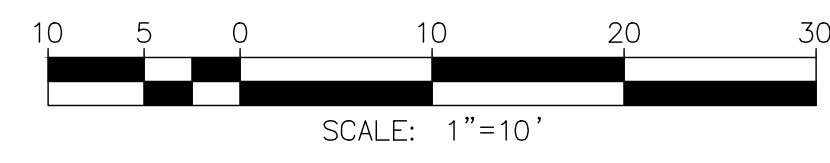
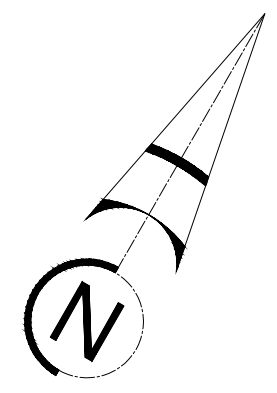
- CONCRETE SHALL BE 520-C-2500
- SEE SDPSD G-9 & G-10 FOR JOINT DETAILS
- BROOM FINISH SMOOTH, TROWEL AT CENTER
- (4) #4 LONGITUDINAL @ 8" O.C.
- #3 CROSS BARS @ 32" O.C.
- UPPER 18" OF SUBGRADE SHALL BE COMPACTED TO 90% RELATIVE COMPACTION

P.C.C. RIBBON GUTTER DETAIL

1/4" SCALE



NTS

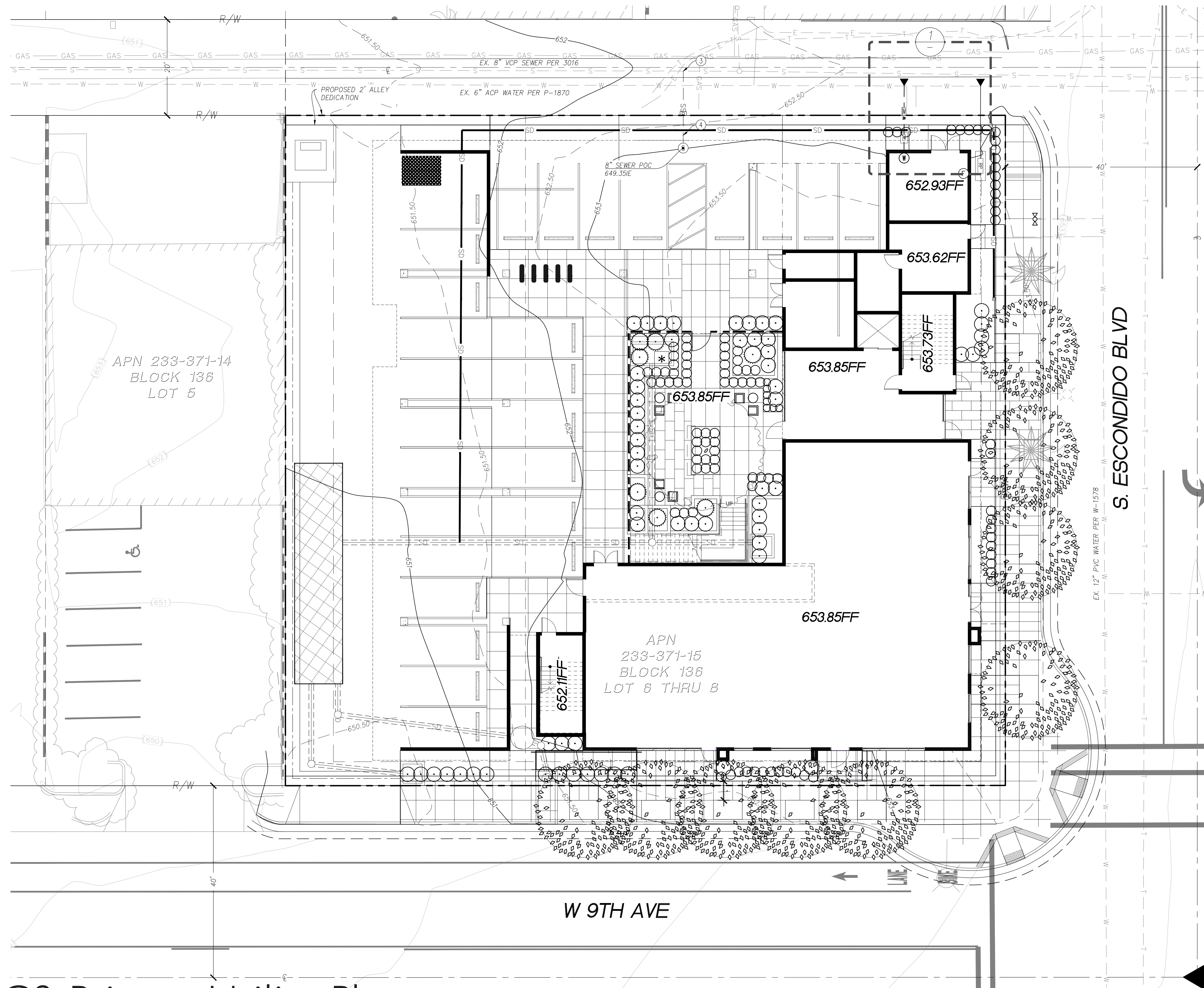


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 SAN DIEGO, CA 92106 www.4c.engineering

C1 Precise Grading Plan

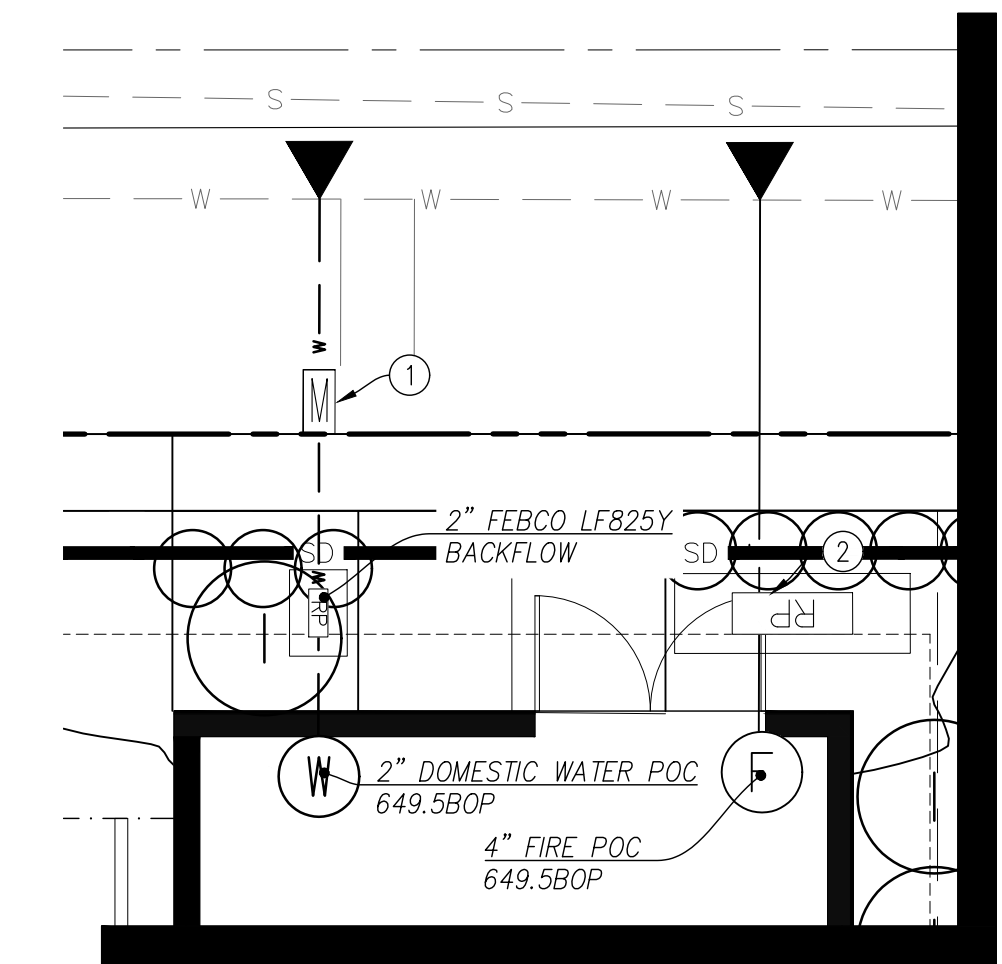
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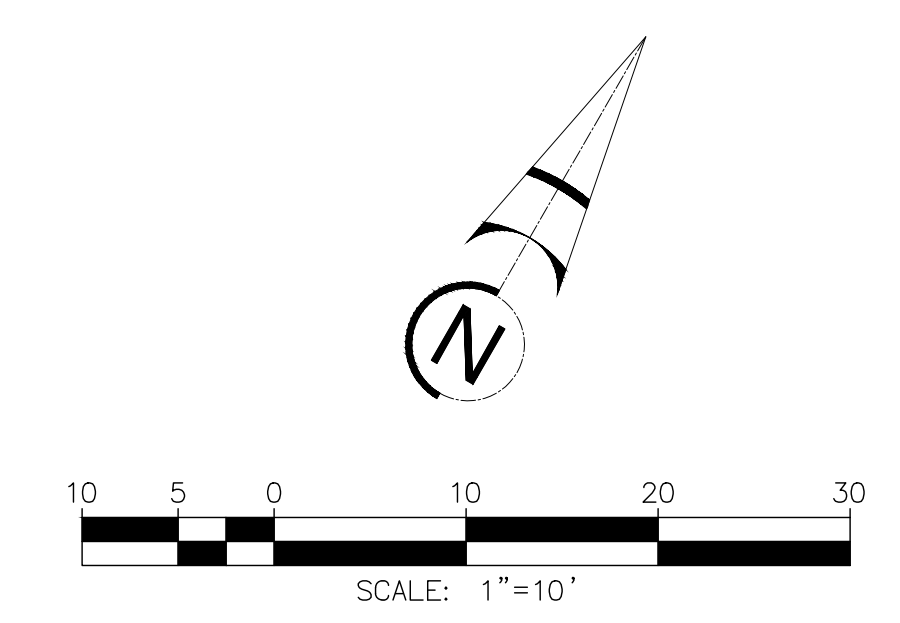


CONSTRUCTION NOTES:

- ① 2" DOMESTIC WATER SERVICE PER W-2-E WITH 2" BACKFLOW PER W-10-E, PROPOSED 2" FEBCO LF825Y BACKFLOW OR APPROVED EQUAL.
- ② 4" FIRE SERVICE PER WF-05 WITH BACKFLOW PER W-8-E, AMES C500 RPDA OR APPROVED EQUAL.
- ③ CONNECT TO EXISTING 6" PVC SEWER. SEE PUBLIC IMPROVEMENT PLANS XXXXXX.
- ④ 4" SEWER LATERAL PER S-2-E.



DETAIL 1
1" = 5'

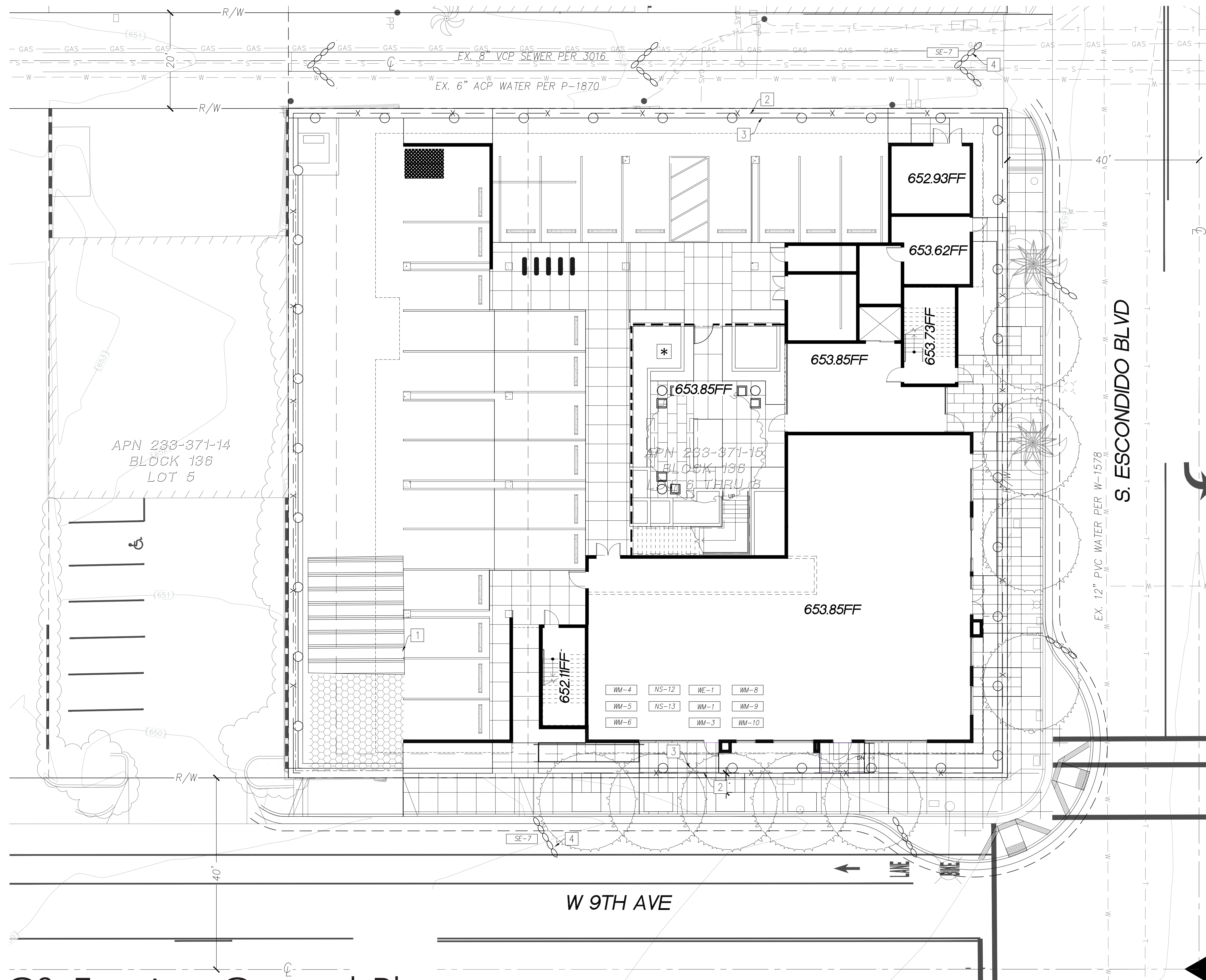


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C2 Private Utility Plan

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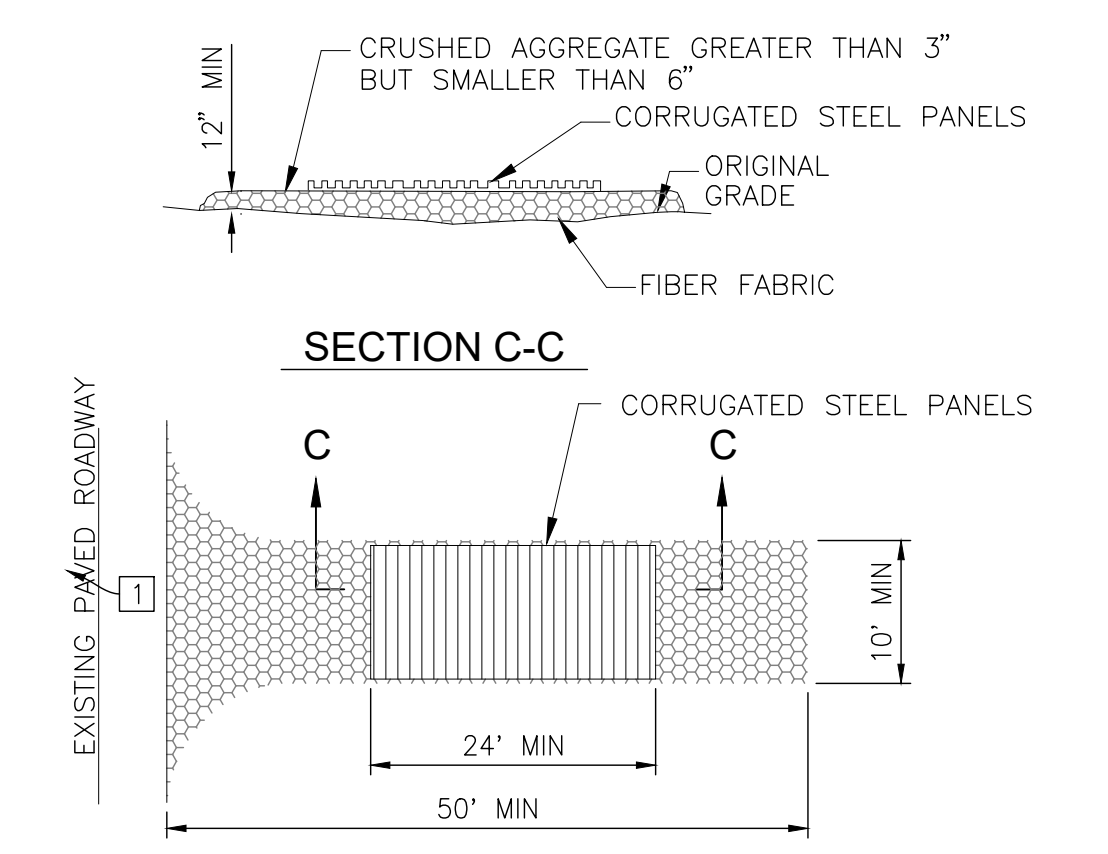


LEGEND

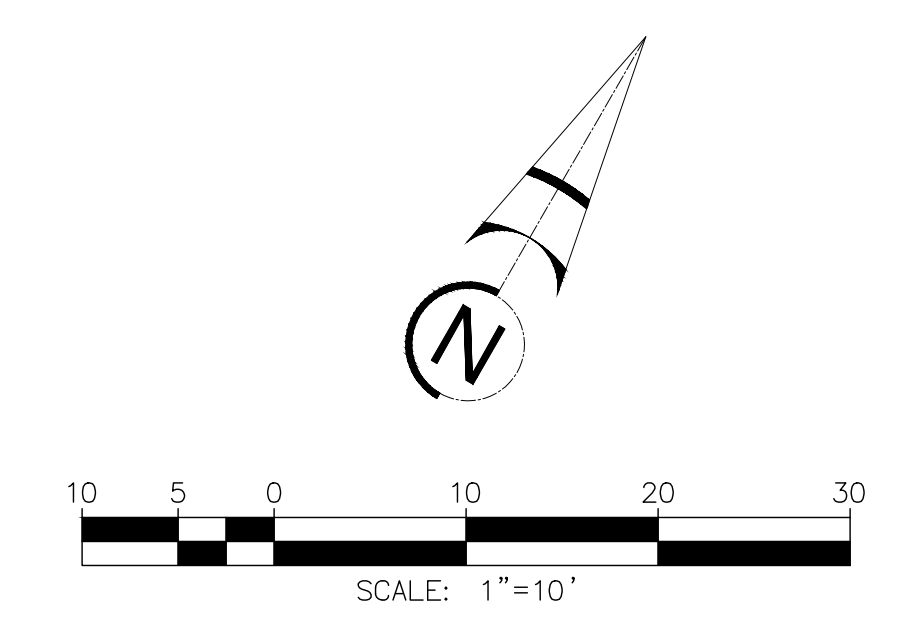
DESCRIPTION	SYMBOL	QUANTITY
1 STABILIZED CONSTRUCTION ENTRANCE		TC-3 1 EA
2 SILT FENCE		SE-1 580 LF
3 CONSTRUCTION FENCE		SM-3 580 LF
4 GRAVEL BAGS		SE-6 120 EA

BMPs SHOWN ON PLANS

CONCRETE CURING	NS-12	WATER CONSERVATION PRACTICES	NS-1
CONCRETE FINISHING	NS-13	ILLICIT CONNECTION/ILLEGAL DISCHARGE DETECTION AND REPORTING	NS-6
STREET SWEEPING AND VACUUMING	SE-7	POTABLE WATER/IRRIGATION	NS-7
WIND EROSION	WE-1		
MATERIAL DELIVERY AND STORAGE	WM-1		
STOCKPILE MANAGEMENT	WM-3		
SPILL PREVENTION AND CONTROL	WM-4		
SOLID WASTE MANAGEMENT	WM-5		
HAZARDOUS WASTE MANAGEMENT	WM-6		
CONCRETE WASTE MANAGEMENT	WM-8		
SANITARY/SEPTIC WASTE MANAGEMENT	WM-9		
LIQUID WASTE MANAGEMENT	WM-10		



STABILIZED CONSTRUCTION ENTRANCE/EXIT DETAIL
NTS

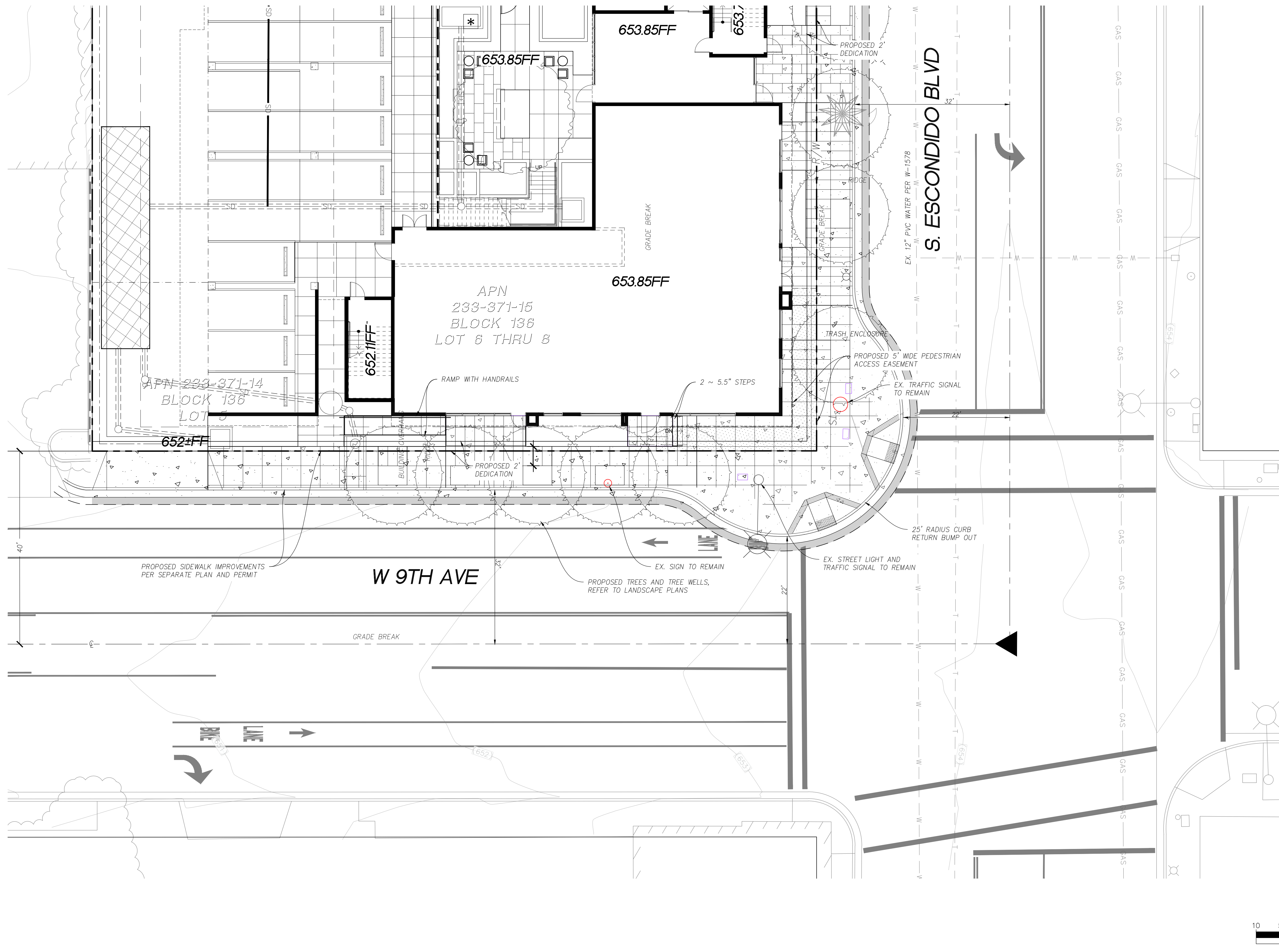


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C3 Erosion Control Plan

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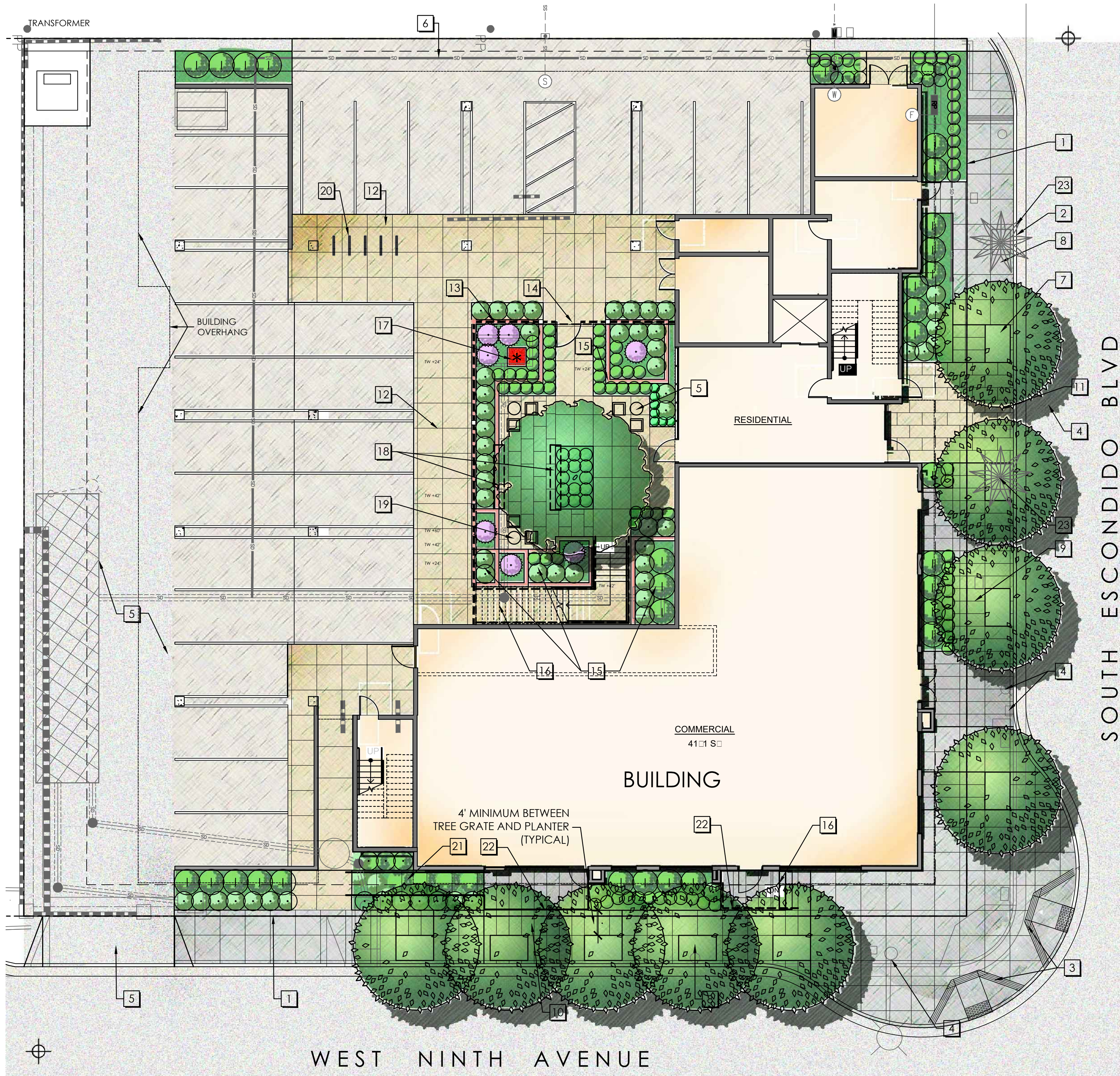
C4 Site View @ Intersection

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HARDSCAPE LEGEND

- 1 RIGHT-OF-WAY
- 2 CURB PER CIVIL PLANS
- 3 CURB RAMP PER CIVIL PLANS
- 4 STREET LIGHTS AND UTILITIES
- 5 VEHICULAR PAVING PER CIVIL PLANS
- 6 CONCRETE PAVING PER CIVIL PLANS
- PAVING AND FLATWORK
- 7 4'X6' TREE GRATE
- 8 CONCRETE PAVING - NATURAL COLOR, MEDIUM BROOM FINISH, SAWCUT SCORE JOINTS AT 48" O.C. BOTH WAYS
- 9 CONCRETE PAVING - NATURAL COLOR, MEDIUM BROOM FINISH, SAWCUT SCORE JOINTS @ 24" X 48"
- 10 COMMERCIAL ENTRY CONCRETE - NATURAL COLOR, TOPCAST FINISH, SAWCUT SCORE JOINTS @ 24" X 48"
- 11 RESIDENTIAL ENTRY CONCRETE - INTEGRAL COLOR TO COMPLEMENT BUILDING, TOPCAST FINISH, SAWCUT SCORE JOINTS @ 24" X 48", BOND PATTERN
- 12 INTERIOR CONCRETE - INTEGRAL COLOR, TOPCAST FINISH, SAWCUT SCORE PATTERN AS SHOWN
- WALLS AND FENCES
- 13 METAL SECURITY FENCE (ON TOP OF WALL WHERE SHOWN)
- 14 PEDESTRIAN ENTRY GATE
- 15 RAISED PLANTERS
- MISCELLANEOUS
- 16 STAIRS PER ARCHITECTS PLANS
- 17 ACCENT SCULPTURE
- 18 BUILT-IN BENCH
- 19 BISTRO TABLE
- 20 BIKE PARKING
- 21 PEDESTRIAN RAMP AND HANDRAILS
- 22 SAFETY RAIL
- 23 EXISTING PALM TREE AND PLANTER TO BE REMOVED

PLANT LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	ZONE 4 WUCOLS	QTY.
Trees:				
<i>Interior Courtyard Tree: (24" Box)</i>				
	MAGNOLIA 'SAMUEL SOMMER'	SOUTHERN MAGNOLIA	M	1
<i>Street Trees (24" Box)</i>				
	LAGERSTROEMIA 'ZUNT'	CRAPE MYRTLE	M	7
Shrubs & Ground Covers:				
<i>Accent Shrubs: (1 gal - 5gal)</i>				
	AGAVE SPP.	AGAVE	L	
	ALOE SPP.	ALOE	L	
	ANIGOZANTHOS HYB.	KANGAROO PAW	L	
	PHORMIUM SPP.	NEW ZEALAND FLAX	L	
<i>Foundation and Massing Shrubs: (1-5 gal. @ 3' - 4' o.c.)</i>				
	BUXUS JAPONICA	JAPANESE BOXWOOD	M	
	CALLISTEMON 'LITTLE JOHN'	DWARF BOTTLEBRUSH	L	
	DIANELLA REVOLUTA	LITTLE REV FLAX LILY	L	
	FESTUCA O. 'GLAUCA'	BLUE FESCUE	L	
	LOMANDRA SPP.	DWARF MAT RUSH	L	
	MUHLENBERGIA SPP.	DEER GRASS	L	
	WESTRINGIA FRUTICOSA	COAST ROSEMARY	L	
<i>Ground Covers: (Flats @ 12" o.c.)</i>				
	ROSMARINUS 'HUNTINGTON CARPET'	ROSEMARY	L	
	SENECIO MANDRALISCAE	BLUE CHALK STICKS	L	

IRRIGATION STATEMENT

- THE IRRIGATION SYSTEM SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF ESCONDIDO WATER EFFICIENT LANDSCAPE REGULATIONS, MC ART. 62
- ALL PLANTED AREAS SHALL HAVE AN AUTOMATIC IRRIGATION SYSTEM. SHRUB AND GROUND COVER AREAS SHALL UTILIZE LOW-VOLUME SUBSURFACE DRIP EMISSION DEVICES, PREVENTING RUNOFF AND OVERSRA. SLOPE AREAS SHALL UTILIZE LOW PRECIPITATION RATE ROTATOR NOZZLES
- THE AUTOMATIC CONTROLLER SHALL BE A SMART CONTROLLER, WITH WEATHER SENSING FEATURES AND FLOW MANAGEMENT CAPABILITIES.
- THE IRRIGATION SYSTEM VALVES SHALL BE SEPARATED BY HYDROZONE, WITH RESPECT TO SIMILAR SITE, SUN EXPOSURE, SOIL CONDITIONS AND PLANT MATERIAL WITH SIMILAR WATER USE.
- ONLY SUBSURFACE IRRIGATION SHALL BE USED WITHIN 24" OF A PAVED SURFACE
- TREES SHALL BE PLACED ON SEPARATE VALVES FROM SHRUBS AND GROUND COVER, UTILIZING DEEP ROOT BUBBLERS
- THE PROJECTS ESTIMATED WATER USE (ETWU) SHALL NOT EXCEED THE MAXIMUM APPLIED WATER ALLOWANCE (MAWA)
- ALL TREES SHALL BE LOCATED:
 - MIN. 10' FROM FIRE HYDRANTS, UTILITY POLES, OVERHEAD UTILITY WIRES, STREET LIGHTS, & UTILITY STRUCTURES
 - MIN. 5' FROM UNDERGROUND UTILITY LINES
 - MIN. 8' FROM UNDERGROUND SEWER LINES

INVASIVE SPECIES

NO NON-NATIVE INVASIVE PLANT SPECIES SHALL BE USED, PER THE CALIFORNIA EXOTIC PEST PLANT COUNCIL LIST A-1, AND CALIFORNIA INVASIVE PLANT COUNCIL (CAL-IPC)

MAINTENANCE NOTES

ALL LANDSCAPED AREAS WILL BE MAINTAINED BY THE PROPERTY OWNER

DESIGN FEATURES

- ALL PLANTING WITHIN CORNER SIGHT LINE DISTANCE AREAS SHALL HAVE A MAXIMUM MATURE HEIGHT OF 30'
- ALL PLANTED AREAS SHALL RECEIVE A 3" LAYER OF SHREDDED BARK MULCH
- ALL PLANTS SHALL BE SELECTED FOR DROUGHT TOLERANCE AND LOW MAINTENANCE. ALL SHRUBS AND GROUNDCOVERS SHALL BE WUCOLS RATED 'LOW' FOR WATER USE.

ONSITE LANDSCAPED AREA

TOTAL LANDSCAPING: 1,802 SF.

Water Efficient Landscape Worksheet								
Reference Evapotranspiration (ETo)	57	Project Type		Residential	0.55			
Hydrozone # / Planting Description ^a	Plant Factor (PF)	Irrigation Method ^b	Irrigation Efficiency (IE) ^c	ETAF (PF/IE)	Landscape Area (Sq. Ft.)	ETAF x Area	Estimated Total Water Use (ETWU) ^d	
Regular Landscape Areas								
1	0.4	drip	0.81	0.49	1802	890	31448	
					Totals	1802	890	31448
Special Landscape Areas								
				1		0	0	
				1		0	0	
				1		0	0	
				1		0	0	
					Totals	0	0	
					ETWU Total		31448	
					Maximum Allowed Water Allowance (MAWA)^e		35025	



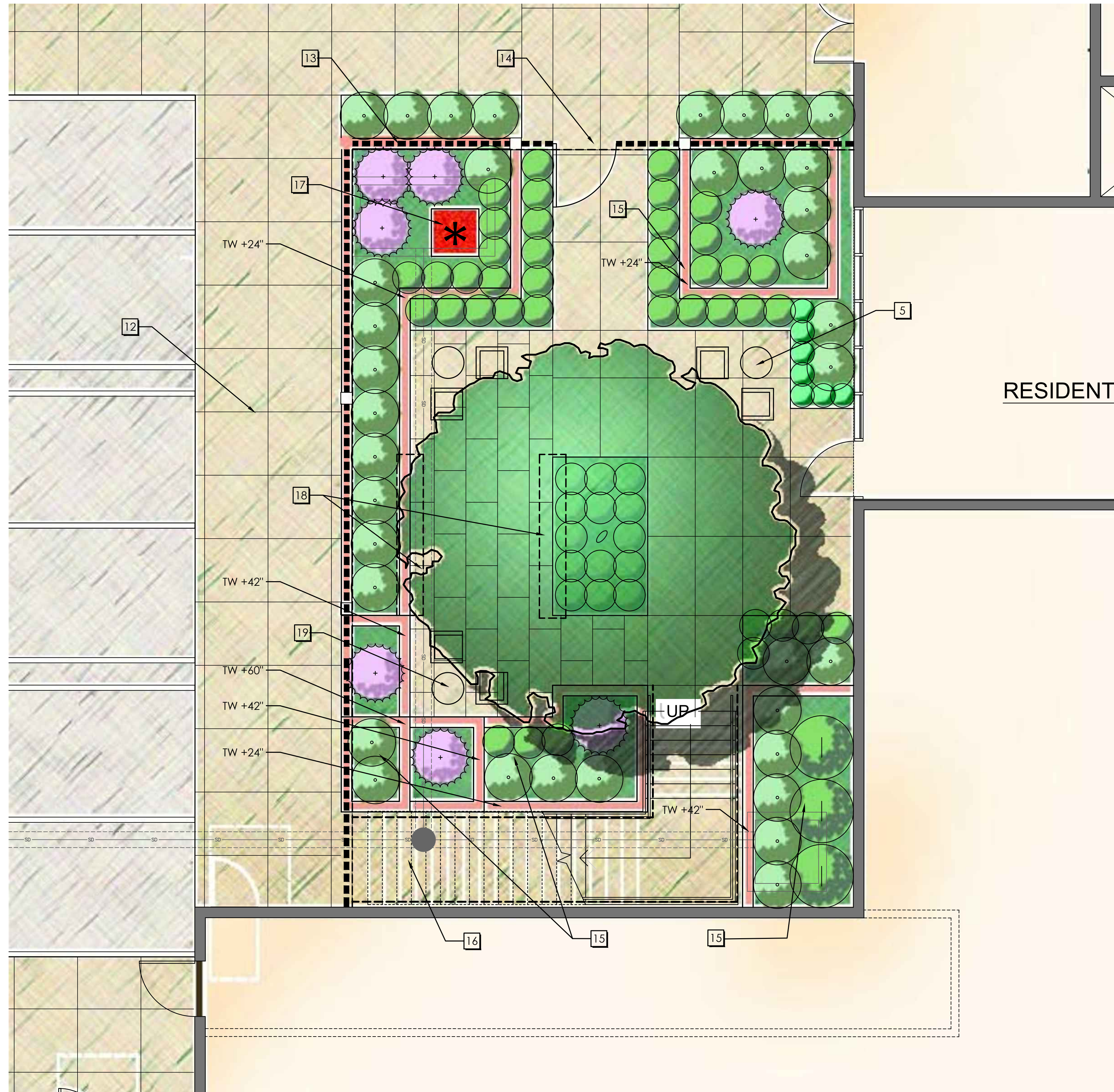
SITE ADDRESS
829 S. ESCONDIDO BLVD
ESCONDIDO, CA 92025

LANDSCAPE ARCHITECT
HOWARD ASSOCIATES, INC.
1951 FOURTH AVENUE, SUITE 302
SAN DIEGO, CA 92101
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L1 Landscape Plan

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HARDSCAPE LEGEND

SITE FEATURES

- 1 RIGHT-OF-WAY
- 2 CURB PER CIVIL PLANS
- 3 CURB RAMP PER CIVIL PLANS
- 4 STREET LIGHTS AND UTILITIES
- 5 VEHICULAR PAVING PER CIVIL PLANS

- 6 CONCRETE PAVING PER CIVIL PLANS

PAVING AND FLATWORK

- 7 4'X6' TREE GRATE
- 8 CONCRETE PAVING - NATURAL COLOR, MEDIUM BROOM FINISH, SAWCUT SCORE JOINTS AT 48" O.C. BOTH WAYS
- 9 CONCRETE PAVING - NATURAL COLOR, MEDIUM BROOM FINISH, SAWCUT SCORE JOINTS @ 24" X 48"
- 10 COMMERCIAL ENTRY CONCRETE - NATURAL COLOR, TOPCAST FINISH, SAWCUT SCORE JOINTS @ 24" X 48"
- 11 RESIDENTIAL ENTRY CONCRETE - INTEGRAL COLOR TO COMPLEMENT BUILDING, TOPCAST FINISH, SAWCUT SCORE JOINTS @ 24" X 48", BOND PATTERN
- 12 INTERIOR CONCRETE - INTEGRAL COLOR, TOPCAST FINISH, SAWCUT SCORE PATTERN AS SHOWN

WALLS AND FENCES

- 13 METAL SECURITY FENCE (ON TOP OF WALL WHERE SHOWN)
- 14 PEDESTRIAN ENTRY GATE
- 15 RAISED PLANTERS

MISCELLANEOUS

- 16 STAIRS PER ARCHITECTS PLANS
- 17 ACCENT SCULPTURE
- 18 BUILT-IN BENCH
- 19 BISTRO TABLE
- 20 BIKE PARKING
- 21 PEDESTRIAN RAMP AND HANDRAILS
- 22 SAFETY RAIL
- 23 EXISTING PALM TREE AND PLANTER TO BE REMOVED

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L2 Courtyard Plan

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