

SPECIFIC PLAN AREA 5 NORTHEAST GATEWAY

FINAL DRAFT
APPROVED BY ESCONDIDO CITY COUNCIL
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Northeast Gateway Specific Plan Area 5
As Amended by the City Council

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SPECIFIC PLAN**EXECUTIVE SUMMARY**

The Northeast Gateway Specific Plan is a comprehensive planning document which provides the regulatory framework on which will be based all future development within the Northeast Gateway Specific Plan Area (SPA). The SPA involves a multiple ownership-interests, so while the anticipated date of buildout is uncertain, the Specific Plan ensures that all future tentative maps will contribute to the desired community atmosphere although each future development may be initiated by independent landowners and may utilize the services of various, unrelated architects and builders. The basis for these unifying design concepts expressed in the Northeast Gateway Specific Plan are found both in the requirements of the Escondido General Plan and the policies and vision established by the City of Escondido Planning Department (City) for the anticipated role of the Northeast Gateway.

Both the Escondido General Plan and the City agree that travelers moving south from Valley Center and points north first experience the City of Escondido through the Northeast Gateway SPA. It is this sense of "first impressions" that raises the Northeast Gateway to a level of critical importance in the perceptual characterization of the City of Escondido. Although the General Plan requires only that future development create a pleasant visual experience along the public streets that circulate around and through the Northeast Gateway, the City desired to have the East Valley Parkway corridor, and in fact the Northeast Gateway as a whole, convey a positive message both about Escondido's agricultural heritage and its future as a diverse and active community. Balancing these seemingly disparate concepts is the goal of the Northeast Gateway Specific Plan.

The Northeast Gateway Specific Plan dedicates the latter portions of Chapter 3 to the visual experience of the Northeast Gateway, establishing the standards that will visually unify the future development of the Northeast Gateway with a sense of the area's agricultural past. Vegetative species reminiscent of an agricultural valley, yet compatible with the General Plan's vision of residential development in the SPA, planted in regular patterns within enhanced setbacks and parkways establish a naturalistic feeling of openness and visual consistency throughout the SPA. The architectural standards ensure that the built environment buffered by the landscaping will share a visual consistency although market demand over the years may call for differing floor plans for residential units. A consistent color scheme, dictated by the natural environment, will blend the residential units with the landscaping. Consequently, regardless of when the development is constructed, the standards established by the Specific Plan will provide for its visual integration with previous developments, contributing to the sense of identity of the Northeast Gateway.

The City of Escondido took the first step in establishing the atmosphere of the built environment of the Northeast Gateway through the development of Ryan Community Park and Dog Park, which bookend the SPA. Ryan Community

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Park, located at the southeastern entry to the Northeast Gateway, is a 59-acre active use recreational facility planned to include lighted soccer and baseball fields, courts, and concession stands. Dog Park, located at the northwestern entry to the Northeast Gateway, is a 7-acre facility representing Escondido's first off-leash recreational area for dogs. Together, these facilities will become social hubs for eastern Escondido, bringing families and individuals from other parts of town into the Northeast Gateway to share in these public resources.

The residential development regulations that "fit" development between the agricultural heritage requirements established by the City and the reality of urban land use intensities both adjacent to and within the Northeast Gateway are found in Chapters 2 and 3 of the Specific Plan. Chapter 2 describes the overall concept of matching compatible land use patterns, associating higher-density residential uses with high-density or high-intensity urban uses, and matching lower-density residential uses with other lower-density/intensity uses and natural open space areas. Further refinement of this concept is found in Chapter 3, where the residential lot size gradient is established for future residential development. The result of these standards will be variety in housing options within the Northeast Gateway, providing options in living environment, setting, and home size, together contributing to the sense of diversity central to Escondido's current and future character.

The standards, guidelines, and procedures set forth in the Northeast Gateway Specific Plan not only achieve the City's vision in the most practical way possible, but implement each objective established for the Northeast Gateway (SPA 5) by the Escondido General Plan. The result is a balanced approach to managing future growth that is meaningful to current residents, logical in a regulatory sense, and visually appealing in its finished form.

SPECIFIC PLAN**1. INTRODUCTION****1.1 PURPOSE AND OBJECTIVES****1.1.1. Purpose of Specific Plan**

This Specific Plan has been prepared to guide and coordinate the future development of the Northeast Gateway Specific Planning Area (SPA 5). The document's primary function is to provide a comprehensive description of land use, circulation, infrastructure, design guidelines, development standards and implementation programs to direct future development. The Northeast Gateway Specific Plan (Specific Plan) and the Northeast Gateway Program Environmental Impact Report (EIR), to be completed during the environmental review phase of the Specific Plan approval process, will provide the necessary regulations and environmental documentation so that subsequent development applications, consistent with these documents, may be processed and approved by the City as a coordinated planning program.

The Northeast Gateway Specific Plan contains Development Regulations and Procedures in Chapter 3 designed specifically to guide future growth within the development context created by both existing and proposed public projects within the Specific Planning Area (SPA). Situations or conditions not covered by this Specific Plan shall be subject to the City ordinances of the City of Escondido.

The Specific Plan serves as a direct link between the policies of the Escondido General Plan (General Plan) and specific development projects, assuring that as future SPA planning areas are individually reviewed, each will remain consistent with the General Plan. To be approved, all future Final Maps, Final Project Plans and other land use entitlements within the Specific Planning Area must be consistent with this Specific Plan.

1.1.2 Objectives of Specific Plan

This Specific Plan includes all components required by the State of California, as well as other components which are necessary to implement the Escondido General Plan. The objectives of this Specific Plan are to:

1. Provide a comprehensive land use plan that designates the distribution, location, and extent of all land uses, primary local access and public facilities within the Specific Plan Area;
2. Promote quality development that will be consistent with the goals and objectives of the General Plan;

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3. Provide for comprehensive planning which will allow for the orderly development of the SPA in relation to the existing community;
4. Provide for residential housing opportunities while preserving the natural features of the Specific Plan Area by concentrating development on the flatter portions of the site and restricting the steeper slopes to open space preservation;
5. Ensure the preservation of sensitive and locally important species and habitats by identifying biological constraints and providing development guidelines that protect them as well as other natural and scenic resources;
6. Provide Design Guidelines and Development Regulations and Procedures to integrate all future development projects with each other and the existing and proposed public projects within the SPA;
7. Develop a plan that is economically feasible and capable of being implemented based on existing and anticipated future economic conditions;
8. Assure adequate phasing for all SPA facilities including circulation improvements, drainage facilities, domestic water, and sewage disposal facilities; and
9. Provide a Specific Plan that is useful and meaningful to both city staff and the general public in planning for future development.

1.1.3 Severability

If any provision of this Specific Plan or the application thereof to any persons or circumstances is held invalid, such invalidity shall not effect other provisions or applications of this Specific Plan which can be given effect without the invalid provisions or application thereof, and to this end the provisions of this Specific Plan are severable.

SPECIFIC PLAN**1.2 AUTHORITY AND REQUIREMENTS****1.2.1 Authority for Specific Plan**

The California Government Code grants a local government (e.g. the City) the authority to prepare specific plans to implement its General Plan. Specific plans are generally designed to:

1. Provide a greater level of detail than the traditional zoning ordinance, and serve as a tool to tailor development policies and regulations to a specific site;
2. Provide more specific development standards to create appropriate land use designations and design criteria that address project-specific issues; and
3. Provide decision makers with the opportunity to comprehensively review a master planned community in its entirety at the outset—considerate of land use, circulation, infrastructure and other issues important to the local government.

1.2.2 Requirements of Specific Plans

California Government Code Section 65451 sets forth the requirements for specific plans as follows:

1. A specific plan shall include a text and a diagram or diagrams which specify all of the following in detail:
 - a. The distribution, location and extent of the uses of land, including open space, within the area covered by the plan;
 - b. The proposed distribution, location, and extent and intensity of major components of public and private transportation, sewage, water, drainage, solid waste disposal, energy and other essential facilities proposed to be located within the area covered by the plan and needed to support the land uses described in the plan;
 - c. Standards and criteria by which improvements will proceed, and standards for the conservation, development, and utilization of natural resources, where applicable; and

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- d. A program of implementation measures including regulations, programs, public works projects and the financing measures necessary to carry out paragraphs a, b, and c above.
2. The specific plan shall include a statement of the relationship of the specific plan to the general plan.

1.3 RELATIONSHIP TO THE GENERAL PLAN AND CEQA**1.3.1 Relationship of the Specific Plan to the Escondido General Plan**

Pursuant to California Government Code Section 65454, a specific plan shall be consistent with the local government's general plan. The Northeast Gateway Specific Plan implements the goals and policies of the Escondido General Plan within the Specific Plan Area. Chapter 5 contains a consistency analysis demonstrating how the Northeast Gateway Specific Plan implements the goals and objectives of the Escondido General Plan.

1.3.2 Relationship of the Specific Plan to the California Environmental Quality Act (CEQA)

Pursuant to the CEQA Guidelines, the City of Escondido shall prepare an environmental "Initial Study" which will determine whether the Specific Plan may have significant environmental impacts and therefore require an EIR.

If found to be necessary at the conclusion of the Initial Study, an EIR will be prepared, comprehensively analyzing the environmental impacts caused directly and/or indirectly by the Specific Plan, and identifying mitigation measures for each significant impact. Due to the conceptual nature of the Northeast Gateway Specific Plan, a result of the multiple ownership interests present in the SPA, a Program EIR may be the most appropriate form of environmental review. Program EIRs are intended for flexible projects that may take any one of several paths toward completion. The environmental review takes a broad, alternative-based approach to analyzing the many potential final forms of the project and their consequent impacts. Program EIRs may be amended with mitigated negative declarations.

The anticipated program EIR will serve as the environmental impact report for this Specific Plan and subsequent development proposals consistent with this Specific Plan. It is intended to apply to all development projects processed in conformance with this Specific Plan.

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All future development projects within the Specific Plan Area will be evaluated for consistency with this Specific Plan and the EIR to determine whether additional environmental documentation must be prepared pursuant to Section 15168 of the CEQA Guidelines.

SPECIFIC PLAN**1.4 PROJECT LOCATION AND DESCRIPTION****1.4.1 Location**

The Northeast Gateway Specific Plan Area (SPA #5) consists of approximately 418 acres located in the northeastern part of Escondido along the east and west sides of Valley Parkway directly north of East Washington Avenue (also referred to locally as, "El Norte Parkway") and south of Lake Wohlford Road. The Northeast Gateway's regional location is illustrated by Exhibit 1-1.

Valley Parkway is a Primary Arterial connecting Escondido with other communities to the north and east. Persons traveling south along Valley Parkway first access the City of Escondido through Specific Plan Area 5. Consequently, the Escondido General Plan identified SPA 5 as the "Northeast Gateway."

The Specific Plan Area is bordered to the north by Lake Wohlford Road, and to the south by East Washington Avenue, both of which are primary circulation streets. East Valley Parkway is the primary circulation street within the Specific Plan Area, dividing it into nearly equal east and west halves, and connecting the Specific Plan Area with central Escondido and Valley Center (see Vicinity Map, Exhibit 1-2). City plans for the expansion of East Valley Parkway will be discussed in Chapter 2, Circulation.

The majority of the land within SPA 5 is either under cultivation in groves or is owned by the City of Escondido. Access to the groves is by private driveways and access to the City-owned parcels is via maintenance roads not intended for general circulation purposes. Valle Lindo Road and Lewis Lane provide access to the remaining residential properties located in the northeast corner of the Specific Plan Area.

As more thoroughly described in section 1.4.3 of this chapter, the Escondido General Plan identifies the Northeast Gateway as a Tier 2A neighborhood. By this tier designation, the City has determined that the Northeast Gateway contains the infrastructure necessary to facilitate urban development, particularly as it may occur on the developable valley floor of the SPA.

The guidelines established by this Specific Plan balance the development potential of the Northeast Gateway with its locational importance as a transitional area from high intensity urban uses to less intense residential development.

SPECIFIC PLAN**1.4.2 Existing Northeast Gateway Property Description**

Northeast Gateway terrain is generally characterized by a relatively flat valley floor in the central portion of the site, rising to ridgelines exceeding 25 percent grade along the eastern and western boundaries. The slopes rise rapidly from the flat central areas which, at the time of the development of this specific plan, are used primarily for agricultural purposes. The dramatic change in topography from valley floor to ridgeline is one of the key physical characteristics of the area.

The Northeast Gateway Specific Plan Area is divided into five Planning Areas, as illustrated by Exhibit 1-3a.

Planning Area 1

Planning Area (PA) 1 consists of approximately 167 acres under one ownership located along both sides of East Valley Parkway. This PA is predominantly flat, with elevations of about 725 MSL for the majority of the site. Ridges, rising to elevations exceeding 1050 MSL, are found along the eastern and western borders of the area. The west-facing slopes of the eastern hills are the area's most striking physical feature.

East Valley Parkway and the Escondido Creek flood control channel (Escondido Creek) effectively divide PA 1 into three segments. Proposed circulation and drainage features described in Chapter 2 create two additional, logical divisions, resulting in five sub-areas of Planning Area 1. For ease of reference throughout the Specific Plan, each "sub area" of PA 1 has been labeled, as shown on Exhibit 1-3b. The areas are named from left to right and north to south. Consequently, the area west of the Escondido Creek flood control channel shall be known as PA 1a; the area between the flood control channel and East Valley Parkway north of the proposed drainage channel shall be known as PA 1b. The area located between East Valley Parkway and the proposed routing of Street "A" east shall be known as PA 1c; the area located east of the proposed Street "A" east and west of the hillside open space shall be known as PA 1d. Finally, the remainder area located west of East Valley Parkway and south of the proposed drainage channel shall be known as PA 1e.

Occurrences of "PA 1" in the text refer to the total 167-acre area as a unit.

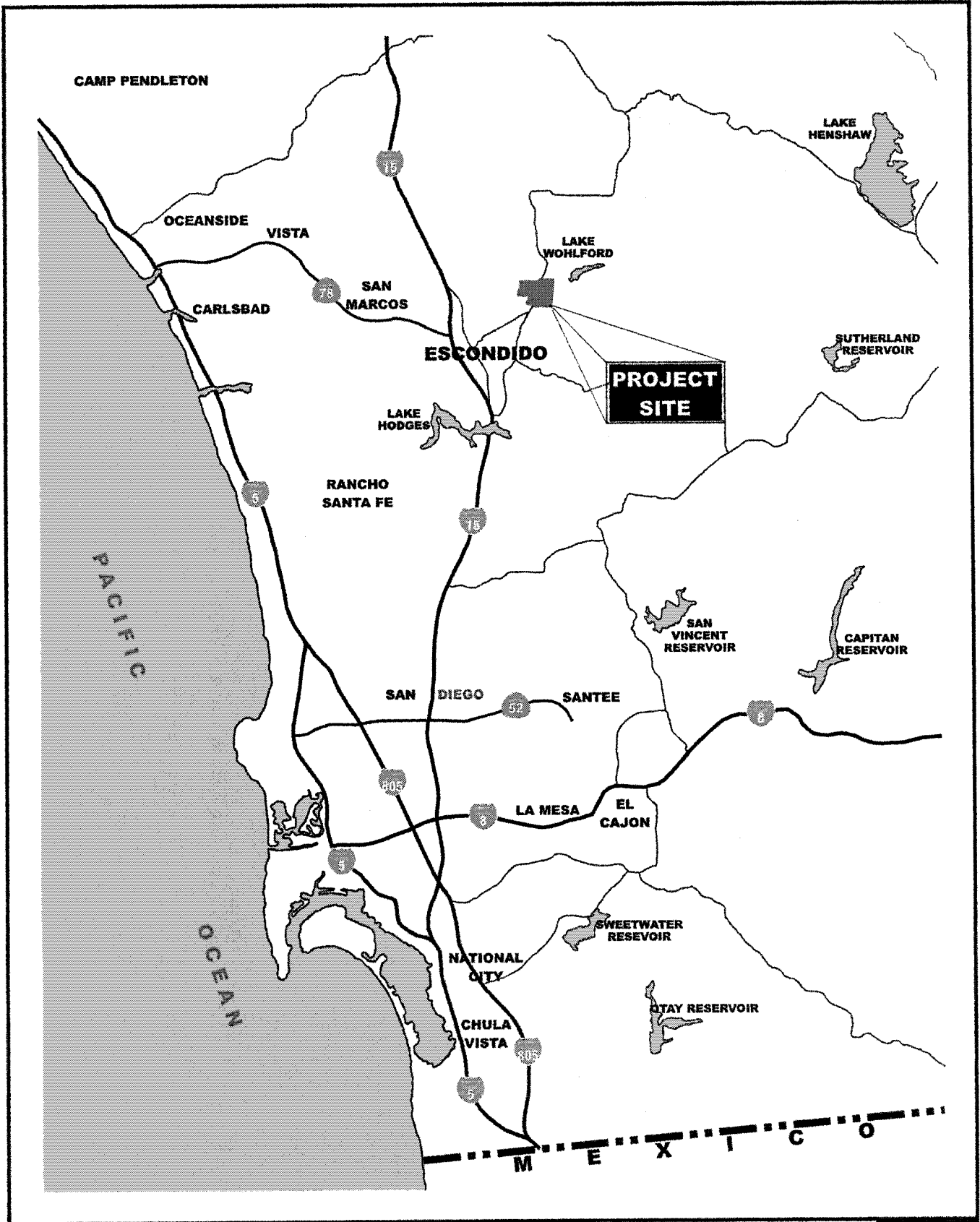


Exhibit 1-1

**SPECIFIC PLANNING AREA 5 –
NORTHEAST GATEWAY**

ESCONDIDO, CA

LOCATION MAP

JACK HENTHORN & ASSOCIATES

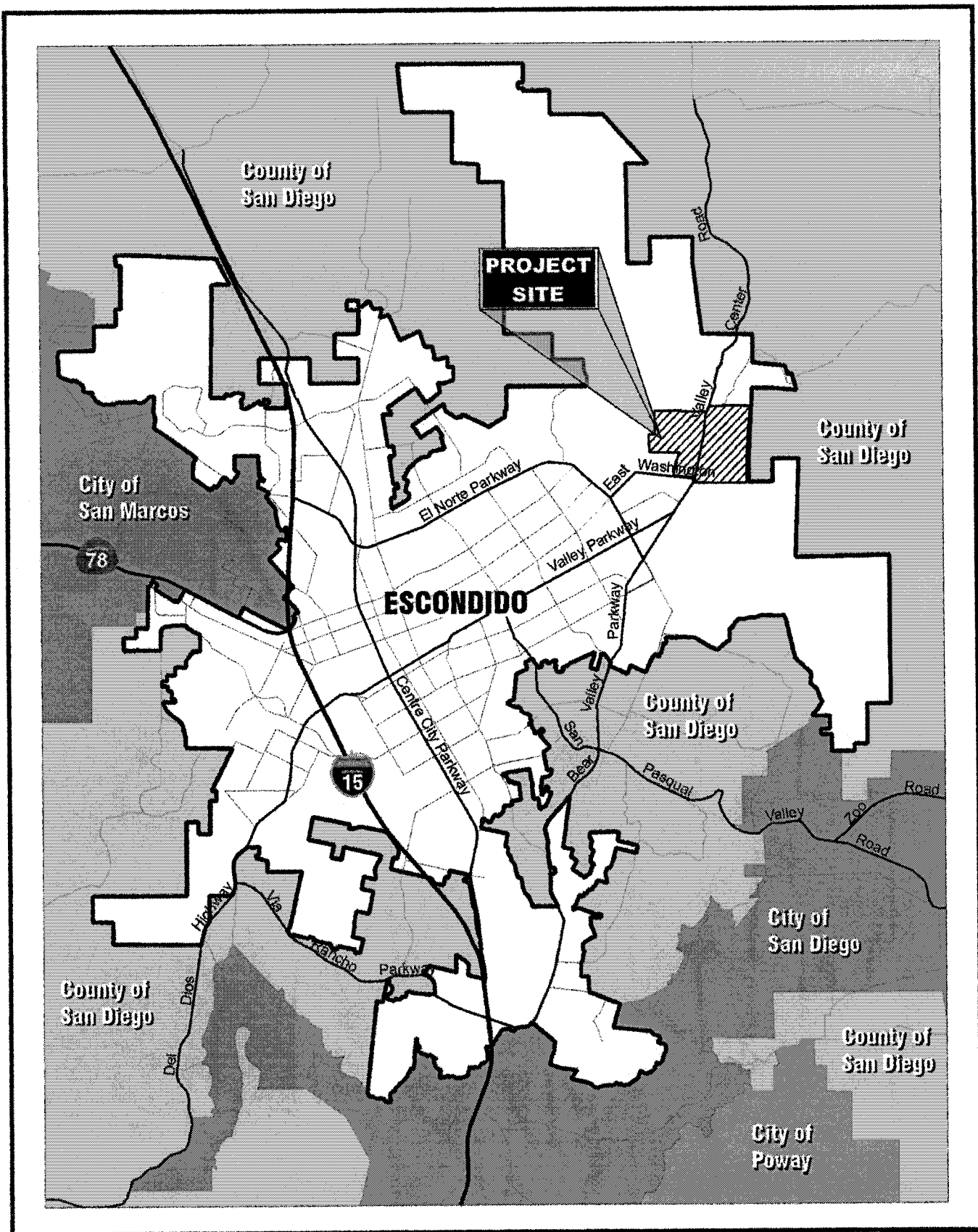
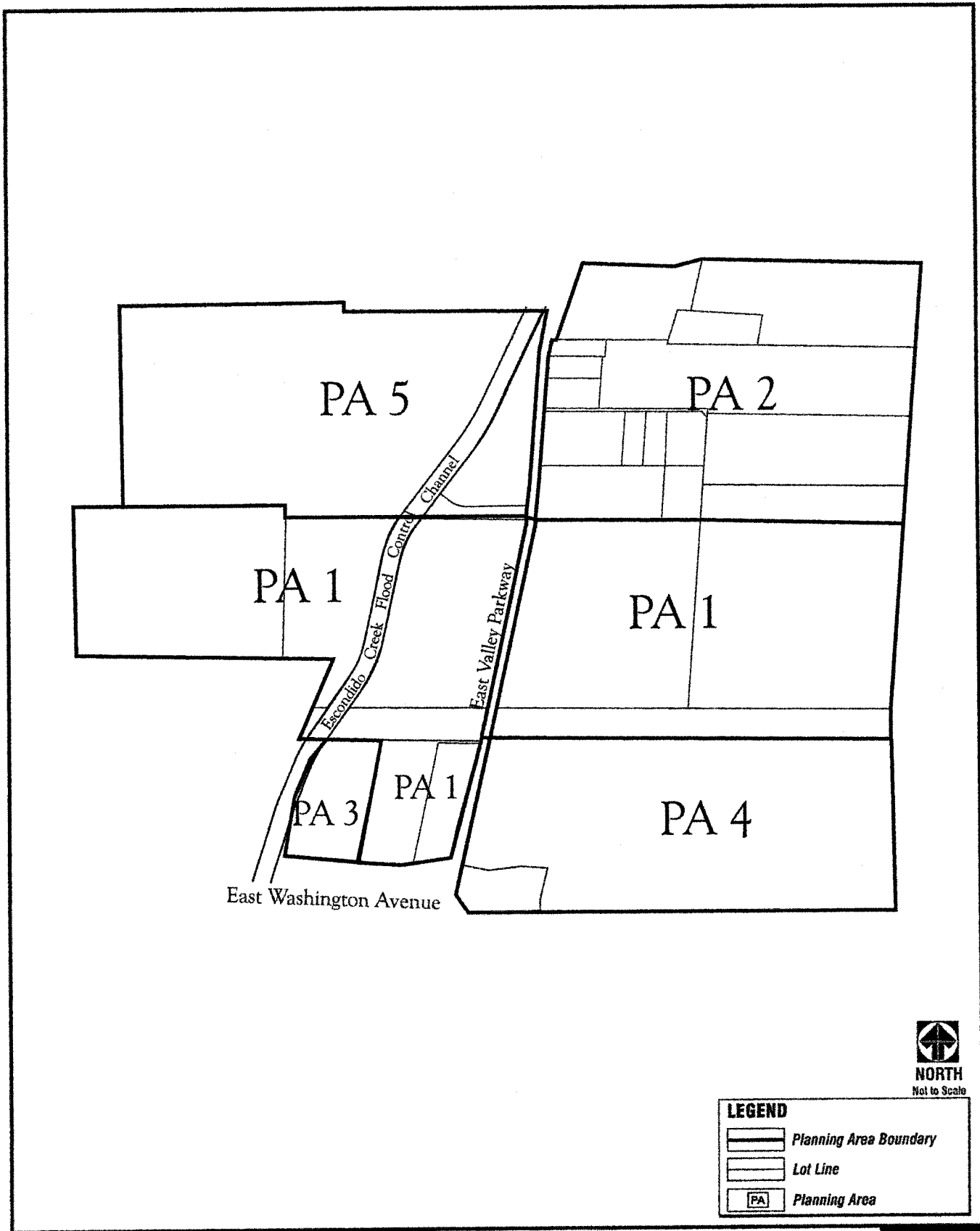


Exhibit 1-2

**SPECIFIC PLANNING AREA 5 –
NORTHEAST GATEWAY**
ESCONDIDO, CA

VICINITY MAP

JACK HENTHORN & ASSOCIATES



NORTH
Not to Scale

LEGEND	
	Planning Area Boundary
	Lot Line
	Planning Area

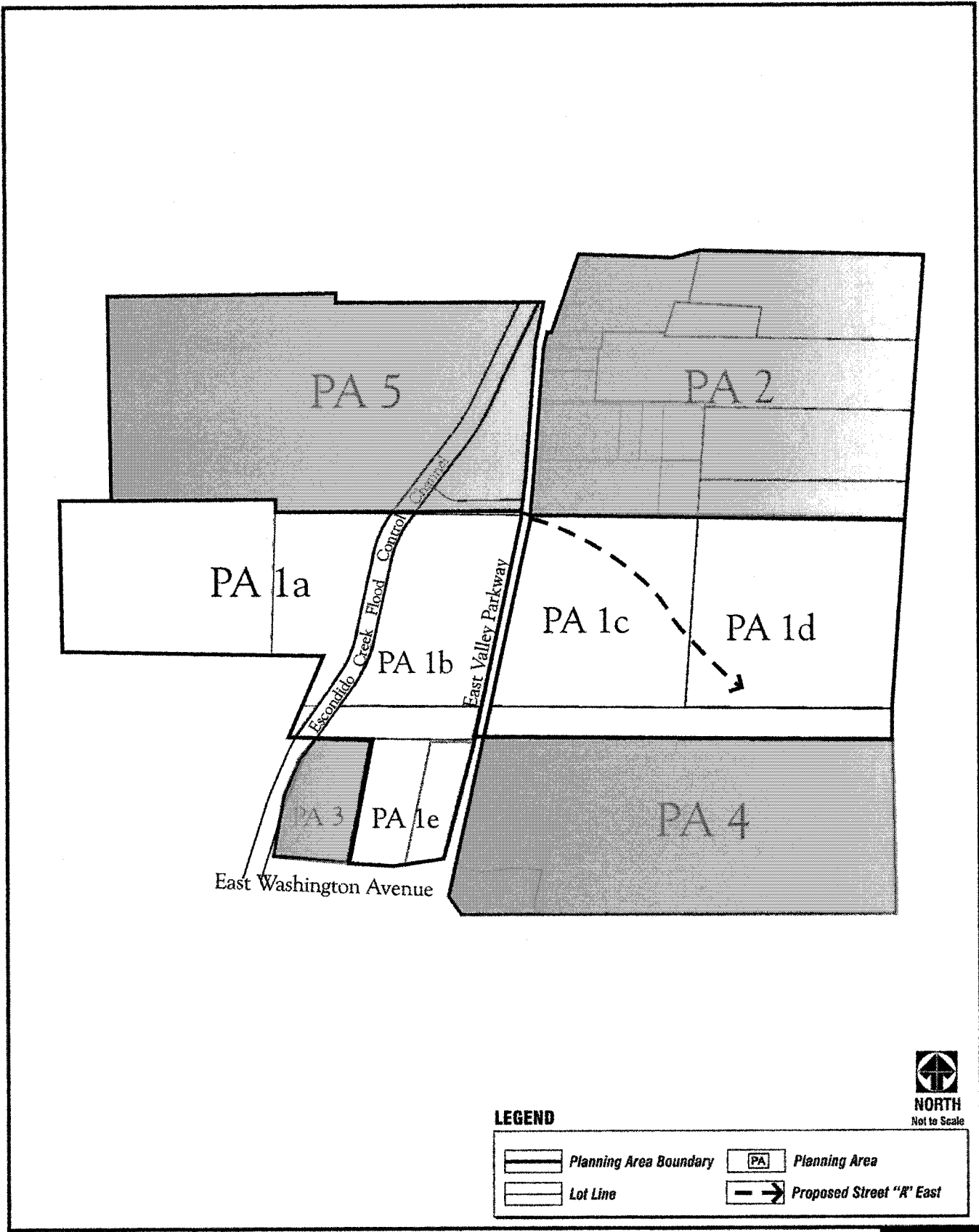
Exhibit 1-3a

**SPECIFIC PLANNING AREA 5 –
NORTHEAST GATEWAY**

NORTHEAST GATEWAY PLANNING AREAS

ESCONDIDO, CA

JACK HENTHORN & ASSOCIATES



LEGEND

	Planning Area Boundary		Planning Area
	Lot Line		Proposed Street "R" East

Exhibit 1-3b

**SPECIFIC PLANNING AREA 5 –
NORTHEAST GATEWAY**

PLANNING AREA 1 SUB-AREAS

ESCONDIDO, CA

JACK HENTHORN & ASSOCIATES

SPECIFIC PLAN**Planning Area 2**

PA 2 consists of approximately 89 acres under 13 individual ownerships located east of East Valley Parkway and north of PA 1. The terrain is generally hilly with elevations ranging from 730 MSL along the valley floor in the western portion of the area to about 1250 MSL in the eastern part of the area.

Planning Area 3

PA 3 consists of approximately 8 acres under one ownership located directly south and west of PA 1, west of East Valley Parkway and north of East Washington Avenue. The terrain is relatively flat, with elevations at or near 710 MSL for the entire area.

Planning Area 4

PA 4 consists of approximately 70 acres in the southeastern corner of the Specific Plan Area. Approximately 67 acres of PA 4 are owned by the City of Escondido. The remaining 3 acres are under one private ownership. The area is generally flat with a ridgeline along the southern boundary. Elevations within the area range from approximately 730 MSL in the flatter areas to 925 MSL on the ridge that continues to rise off-site.

Planning Area 5

PA 5 consists of 81 acres owned by the City of Escondido located in the northwestern corner of the Specific Plan Area, north of PA 1 and west of East Valley Parkway. The area is primarily characterized by steep slopes rising to 1000 MSL in the western section, with a small portion of valley floor located between the Escondido Creek flood control channel and East Valley Parkway.

Slope Analysis

Prior to the approval of this Specific Plan, the Northeast Gateway Specific Plan Area was not defined by any General Plan land use category that otherwise would have been used to establish the maximum density of development for the SPA. The Escondido General Plan instead described the following slope analysis formula that was to be used to determine the maximum number of residential units within the Northeast Gateway Specific Plan Area:

Slope category	Units per Acre
0-10%	2
10-25%	.5
>25%	.25

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Approximately 10 acres of the total SPA are contained within the Escondido Creek flood channel and the East Valley Parkway right-of-way. City policy does not assign density to these areas; therefore, their acreage is not included in the slope analysis. The slope analysis is based on the remaining 408 net developable acres contained within the SPA. Of that, approximately 241 acres or 59 percent of the net area consists of slopes ranging from 0-10% grade; approximately 48 acres or 12 percent of the SPA consists of slopes between 10 and 25% grade; and, 119 acres or 29% of the net area consists of slopes exceeding 25 percent grade.

The Northeast Gateway Specific Plan Area contains 17 different ownerships including the City of Escondido. The density yield for each ownership can be calculated by first measuring the acreage within each slope range (0-10%, 10-25%, and >25%) of each parcel owned by the same landowner within the SPA. In the event that a landowner holds title to multiple contiguous parcels, the slope range acreages of the component parcels are added to arrive at the total acreage within each category held by the landowner. The total slope range acreage is then multiplied by the particular yield factor given in the formula described above. The total units within each slope category are then rounded down to the previous whole number per City policy then summed to arrive at the total density yield for each landowner's total contiguous holdings. Adding the total yields for each landowner results in the maximum density of 517 units for the entire Specific Plan Area. The slope analysis and unit yield for SPA 5 is shown on Table 1-A.

The Northeast Gateway includes two areas owned by the City of Escondido and planned for public recreational uses. These areas include all of PA 5, approximately 81 acres, and the majority of PA 4, approximately 67 acres. Together, these parcels yield 167 potential dwelling units. The General Plan has established that the density derived from the acreage held by the City may be transferred to other parcels within the Specific Plan Area, at the discretion of City Council.

The terms of future allocations of public units to private development areas will be described by a negotiated development agreement between the project applicant and the City of Escondido. The quantity of public units allocated will be determined on a case-by-case basis relative to the value of the public benefit improvements offered by the applicant.

Opportunities and Constraints

Site conditions within the Northeast Gateway prior to the development permitted by this Specific Plan are illustrated by Exhibit 1-4.

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Ridgeline Overlays

The City's Hillside and Ridgeline Overlay map for the Northeast Gateway Area is shown on Exhibit 1-5. The Northeast Gateway Specific Plan Area is located primarily in a valley, providing sufficient area of 0-10% slope to accommodate ample future development without encroaching upon the steeper slopes forming the east and west boundaries of the SPA. Consequently, no future development within SPA 5 will require analysis under the City's Hillside and Ridgeline Overlay map. Further discussion of slope preservation may be found in Chapter 3, Planning Area Land Use Regulations.

Biological Resources

Biological surveys conducted within the Northeast Gateway have identified four native plant communities in addition to the disturbed/agricultural uses dominating the majority of the 418-acre study area. Confined primarily to the eastern and western slopes, the native communities include riparian habitat, coastal sage scrub, mixed chaparral, and oak woodland, containing both coast live oaks (*Quercus agrifolia*) and Englemann oaks (*Quercus engelmannii*). Exhibit 1-6 illustrates the location and extent of the vegetative communities within the SPA.

The southern willow scrub community represents the least acreage of all of the plant communities within the SPA. Located within PA 5, the willow scrub occupies only 2.7 acres within the canyon that forms part of the northern boundary of the Northeast Gateway. The riparian community is composed of a mix of arroyo willow (*Salix lasiolepis*), coast live oak, and a few black willows (*Salix gooddingii*).

Southern oak woodland communities, containing a mix of coast live and Englemann oaks, are located in PAs 1, 2, 4, and 5, totaling 36 acres of the SPA. The oak woodlands are confined primarily to the steep east and west-facing slopes within the Specific Plan Area. A particularly high-quality stand of Englemann oaks may be found within the former University of California/ Ryan ecological preserve, located in the east-central portion of PA 2.

Approximately 50 acres of the study area are vegetated with coastal sage scrub, concentrated primarily on the upper western slopes of the SPA. The coastal sage scrub community includes coastal sagebrush (*Artemisia californica*), flattop buckwheat (*Eriogonum fasciculatum*), laurel sumac (*Rhus laurina*), deerweed (*Lotus scoparius*), white sage (*Salvia apiana*), golden yarrow (*Eriophyllum confertiflorum*), and giant needlegrass (*Nassella lepipa*). Smaller patches of coastal sage scrub are found on the lower eastern slopes. Evidence of former access roads leads to the conclusion that the portions of the SPA that are vegetated with coastal

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sage scrub appear to have been cleared at one time, possibly for agricultural reasons.

Mixed chaparral, comprised of species such as chamise (*Adenostoma fasciculatum*), yellow monkey-flower (*Mimulus aurantiacus*), and laurel sumac, covers approximately 30 acres of the upper steep slopes within the north-east corner of the study area within PA 2 extending south along the eastern boundary of the SPA into PA 1.

With the exception of the developed lots found within PA 2, the remainder of the Northeast Gateway has been under cultivation with irrigated orchards and groves for over 70 years. Prior to the City's acquisition of PA 4, over 65% of the SPA, approximately 275 acres, were in production. Those areas that are currently not under cultivation were disturbed at some point in the recent past and are now identified as disturbed non-native grassland predominated by agricultural weeds.

Special Habitats

Southern willow scrub, Englemann oak woodland, and coastal sage scrub habitats are included in the California Department of Fish and Game's Natural Diversity Data Base, and are considered rare and sensitive. The high-quality representative areas for each of these communities are found on the steeper east- and west-facing slopes, which will be preserved in accordance with General Plan policies. The best example of an Englemann oak grove is located within the former University of California preserve.

The City of Escondido Zoning Code Section 33-1068 further identifies any oak tree with a diameter at breast height (DBH) of ten (10) inches or greater as a protected tree. Any tree specimen of a DBH smaller than 10 inches but included on the historic register or otherwise identified as contributing to the historic character of a property or structure listed on the local register may also be considered a protected tree. The removal of protected trees must be mitigated at a ratio of 2:1, either on-site or elsewhere in the City, at the discretion of the Director of Planning.

Historic Resources

Historic aerial photographs and the local oral tradition indicate that the Northeast Gateway SPA contains some structures of historic significance. A complete archaeological survey conducted in 1988 confirmed that while several structures incorporate architectural aspects that link them to the heritage of the Northeast Gateway, the presumed importance of other structures and sites may be more the result of local lore than historic fact.

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The most significant group of structures is found along either side of East Valley Parkway, near the boundary between PA 1 and PA 2 and PA 5. The complex of structures includes a bungalow-style wooden house, a modernized stucco residence, a board-and-batten farmhouse, a barn, and a wooden residence with shiplap siding. These structures are located within the right of way of the proposed expansion of East Valley Parkway and will be mitigated in accordance with the requirements of the Environmental Impact Report prepared for that project.

Also identified within PA 5 is the Mayflower Oak, an English oak reputed to be a descendant of a tree grown from an acorn brought to Massachusetts aboard the Mayflower. The Mayflower Oak is located within the 80.7 acre-area owned by the City of Escondido and will be preserved as part of the City's policy of heritage resource preservation.

The other structure described in the cultural resources survey is the ranch house within PA 1 that has been occupied by the Wohlford family since its construction in the 1920's. Verbal accounts have linked the structure's architecture to Lillian Rice; however, substantial renovations and additions over the interceding decades have diminished its historic potential. A cultural reconnaissance study conducted in 2001 determined that the structure is of limited historic value unless the building or its occupants could be associated with locally important events. Mitigation measures, if deemed appropriate and found to be necessary, shall be determined at the time of the Environmental Impact Report for SPA 5 and/or any further refinements of that EIR as required for the development of PA 1.

Preservation of Rural, Agricultural Heritage

Due to the historic agricultural use of the area, the Specific Plan seeks to reflect the rural, agricultural heritage of the area through the use of monuments, street and park names, landscaping, public art, architecture, trails, and open space preservation. These features are fully described in their respective sections in Chapters 2 and 3 of this document.

Hydrology

The Northeast Gateway is located within the drainage basin of Escondido Creek, which runs north to south through the SPA in a concrete-lined flood control channel. Escondido Creek conveys storm runoff along the length of its course, beginning north of Lake Wohlford Road and ending near Harmony Grove, and drains into a reservoir near Olivenhain.

A natural stream drainage, Jack's Creek, is located in the southern half of the project area, west of the Escondido Creek channel. Jack's Creek serves as intermittent drainage for the southwestern section of the SPA

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and as the primary emergency discharge conveyance for Dixon Reservoir, discussed below. Jack's Creek drains into the Escondido Creek channel south of the Northeast Gateway. A more detailed description of the Northeast Gateway drainage system is found in Chapter 2.

Lake Dixon, located less than 1000 feet from the northwest corner of PA 5, and Lake Wohlford, located approximate 1.25 miles from the northeast corner of PA 2, are the two significant off-site hydrological features affecting the project site. Both lakes impound water behind rock-fill dams and serve as reservoirs for Escondido. Lake Wohlford also shares its reserves with the Vista Irrigation District.

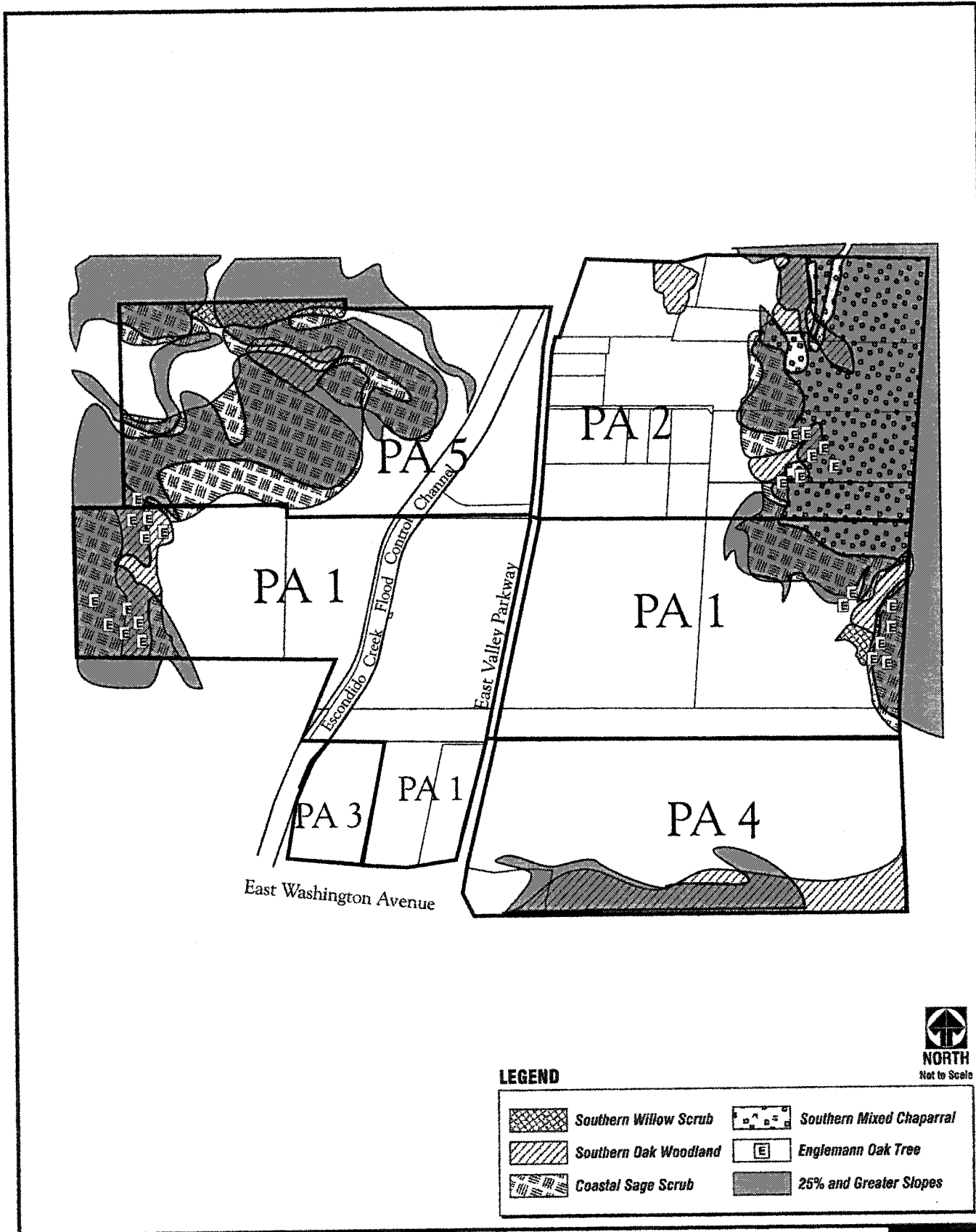
Although the Northeast Gateway is located within the inundation area, sudden dam failure is unlikely due to the construction type of the dams and its inherent stability. Monitoring of the dam structures is conducted weekly, and, in the event that problems are detected, both reservoirs can be drained. Lake Wohlford drains directly into Escondido Creek while Lake Dixon drains first into Jack's Creek then into the Escondido Creek channel off-site.

Table 1-A Slope Analysis Yield

PA	Ownership	TH AC	0-10%			10-25%			>25%			Private units	Public** units
			ac	du*/ac	dus	ac	du/ ac	dus	ac	du/ ac	dus		
1	Butler/Wohlford	30.01	15.27	2	30.54	4.15	0.5	2.08	10.59	0.25	2.65		
1	Wohlford	13.05	12.52	2	25.04	0.53	0.5	0.26	0.00	0.25	0.00		
1	Wohlford	0.31	0.31	2	0.62	0.00	0.5	0.00	0.00	0.25	0.00		
1	Wohlford	21.84	21.83	2	43.67	0.00	0.5	0.00	0.00	0.25	0.00		
1	Wohlford	4.56	4.56	2	9.13	0.00	0.5	0.00	0.00	0.25	0.00		
1	Wohlford	6.84	6.84	2	13.68	0.00	0.5	0.00	0.00	0.25	0.00		
1	Wohlford	4.24	4.23	2	8.46	0.01	0.5	0.00	0.00	0.25	0.00		
1	Wohlford	31.88	31.70	2	63.40	0.18	0.5	0.09	0.00	0.25	0.00		
1	Wohlford	36.32	12.51	2	25.02	6.40	0.5	3.20	17.41	0.25	4.35		
1	Wohlford	11.32	10.84	2	21.68	0.14	0.5	0.07	0.35	0.25	0.09		
1	Wohlford	0.11	0.05	2	0.09	0.06	0.5	0.03	0.00	0.25	0.00		
1	Wohlford	0.33	0.33	2	0.66	0.00	0.5	0.00	0.00	0.25	0.00		
		160.81	121.00		241.00	11.47		5.00	28.35		7.00	253.00	0
		100%	75.24%			7.13%			17.63%				
2	Duncan	6.39	6.39	2	12.00	0.01	0.5	0.00	0.00	0.25	0.00	12.00	0
2	Heath	0.90	0.90	2	1.00	0.00	0.5	0.00	0.00	0.25	0.00	1.00	0
2	Hrnjak	2.70	0.73	2	1.00	1.61	0.5	0.00	0.36	0.25	0.00	1.00	0
2	Lutheran Church	8.46	7.85	2	15.00	0.79	0.5	0.00	0.02	0.25	0.00	15.00	0
2	Lockwood	16.04	0.79	2	1.00	3.20	0.5	1.00	12.05	0.25	3.00	5.00	0
2	Norman Family Trust	15.27	1.62	2	3.00	2.46	0.5	1.00	11.20	0.25	2.00	6.00	0
2	Shue Trust	7.99	2.45	2	4.00	1.27	0.5	0.00	4.28	0.25	1.00	5.00	0
2	Anderson	1.10	1.08	2	2.00	0.02	0.5	0.00	0.00	0.25	0.00	2.00	0
2	Leismelster	1.12	1.05	2	2.00	0.07	0.5	0.00	0.00	0.25	0.00	2.00	0
2	Silva	4.19	4.17	2	8.00	0.02	0.5	0.00	0.00	0.25	0.00	8.00	0
2	Smith	21.47	7.80	2	15.00	2.97	0.5	1.00	10.91	0.25	2.00	18.00	0
2	Suhr	2.04	1.55	2	3.00	0.49	0.5	0.00	0.00	0.25	0.00	3.00	0
2	Toscano	1.57	1.57	2	3.00	0.00	0.5	0.00	0.00	0.25	0.00	3.00	0
		89.25	37.54		70.00	12.90		3.00	38.82		8.00	81.00	0
		100%	42.06%			14.46%			43.49%				
3	Comunale	7.97	7.97	2	15.00	0.00	0.5	0.00	0.00	0.25	0.00	15.00	0
		100%	100.00%			0.00%			0.00%				
4	City of Escondido	66.00	50.39	2	100.00	8.33	0.5	4.00	7.29	0.25	1.00	0.00	105
4	Schulman	3.48	0.65	2	1.00	1.77	0.5	0.00	1.04	0.25	0.00	1.00	0
		69.48	51.04		101.00	10.10		4.00	8.33		1.00	1.00	105
		100%	73.46%			14.54%			11.99%				
5	City of Escondido	73.01	15.32	2	30.65	13.82	0.5	6.91	43.87	0.25	10.97		
5	City of Escondido	0.04	0.04	2	0.07	0.00	0.5	0.00	0.00	0.25	0.00		
5	City of Escondido	7.79	7.76	2	15.53	0.02	0.5	0.01	0.00	0.25	0.00		
5	City of Escondido Flood Control Channel	10.00	n.a.		n.a.	n.a.	n.a.	n.a.	n.a.	n.a.	n.a.		
		90.84	23.12		46.00	13.85		6.00	43.87		10.00	0.00	62
		100%	25.46%			15.24%			48.29%				
Totals		418.35	240.67		473.00	48.32		18.00	119.36		26.00	350.00	167
TOTAL											517		

* du= "dwelling unit" (dus = "dwelling units")

** Public units may be reallocated to private land at the discretion of City Council in return for public benefit improvements.



LEGEND







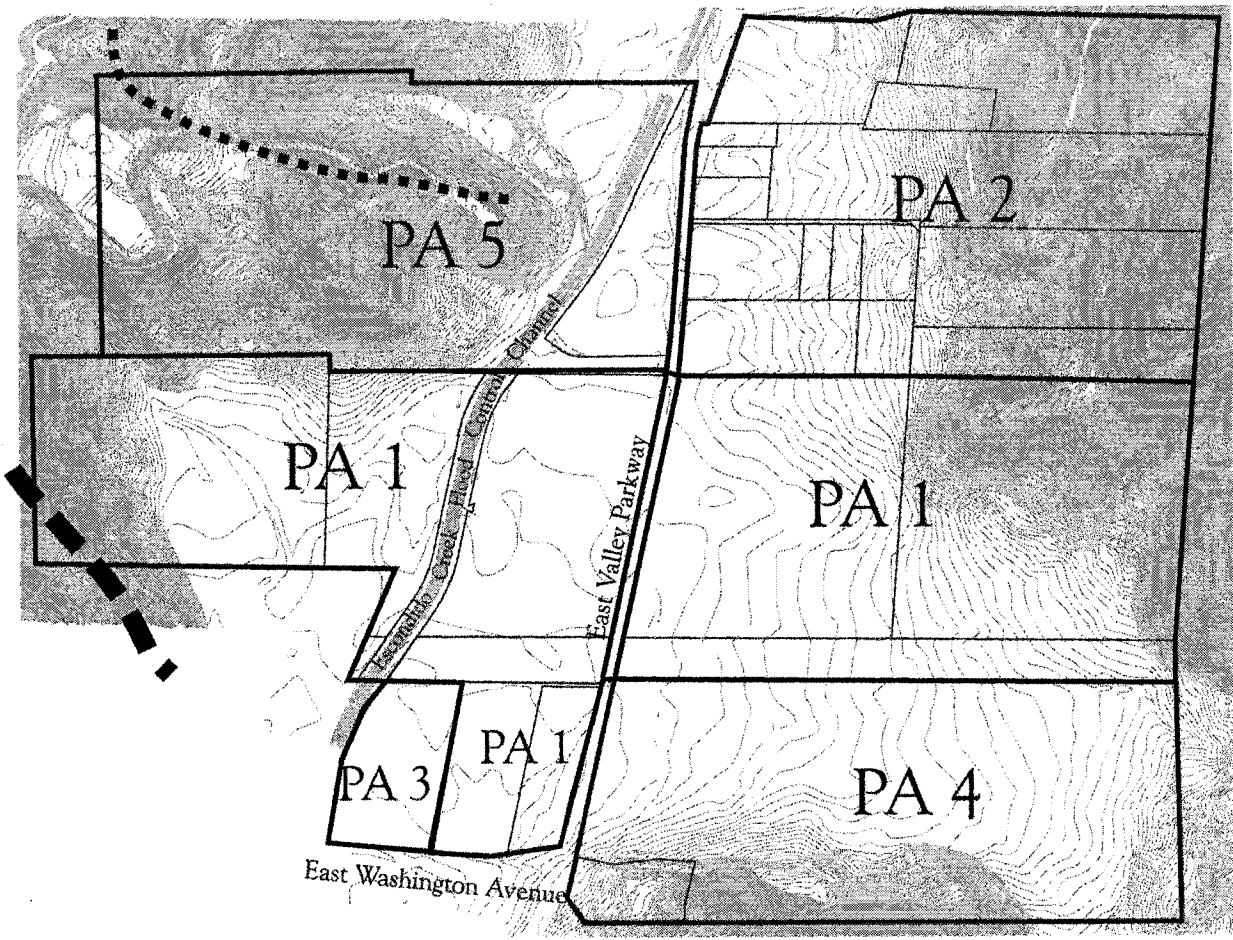
	Southern Willow Scrub		Southern Mixed Chaparral
	Southern Oak Woodland		Englemann Oak Tree
	Coastal Sage Scrub		25% and Greater Slopes

Exhibit 1-4

**SPECIFIC PLANNING AREA 5 –
NORTHEAST GATEWAY**

OPPORTUNITIES AND CONSTRAINTS



LEGEND



- 
Skyline Ridge
 Subject to Hillside and Ridgeline Ordinance Provisions
- 
Intermediate Ridge
 Subject to Hillside and Ridgeline Ordinance Provisions

Exhibit 1-5

**SPECIFIC PLANNING AREA 5 –
NORTHEAST GATEWAY**

HILLSIDE AND RIDGELINE OVERLAY

ESCONDIDO, CA

 **JACK HENTHORN & ASSOCIATES**

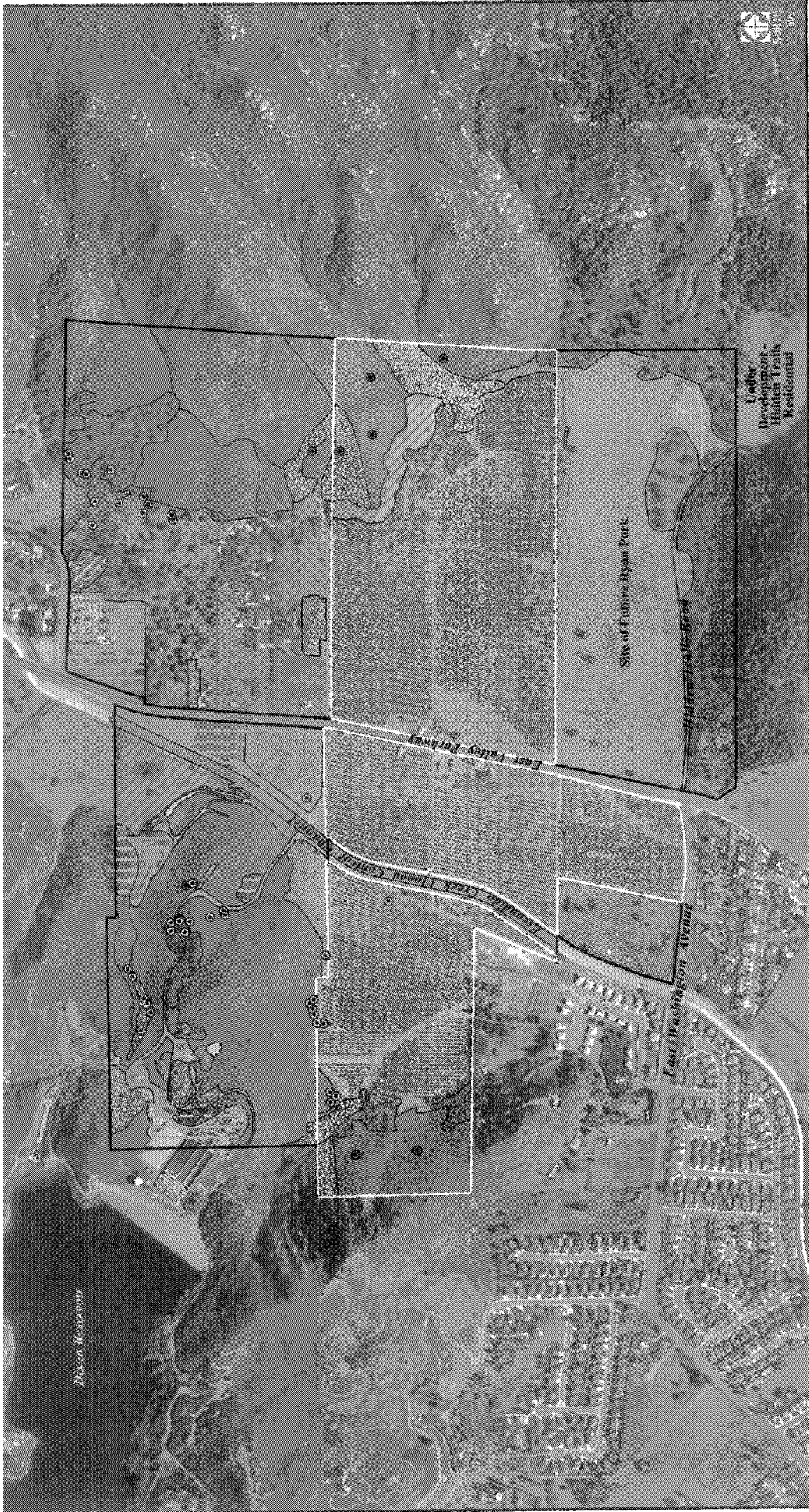


EXHIBIT 1-B

BIOLOGICAL RESOURCES

- | | | | |
|--|--------------------------|--|------------------------------|
| | Plant Communities | | Sensitive Species |
| | Southern mixed chaparral | | Coastal western whippoorwill |
| | Coastal sage scrub | | Engelmann oak tree |
| | Coastal sage scrub/MC | | Orange-breasted whippoorwill |
| | Engelmann oak woodland | | Rufous crowned sparrow |
| | Eucalyptus woodland | | Western bluebird |
| | Mule fir scrub | | Orchard |
| | Non-native grassland | | Disturbed |
| | Coast live oak woodland | | Developed |
| | Southern willow scrub | | Rural residential |
| | Oak riparian | | Escondido Creek Channel |

Specific Planning Area
 SPA boundary
 Eureka Ranch TM boundary
SPECIFIC PLANNING AREA 5 -
NORTHEAST GATEWAY

Source: Northeast Gateway Specific Plan and Eureka Ranch Restroom Subdivision Map, Final Environmental Impact Report, January 2004, SC7 #2002/0118



1.4.3 Surrounding Land Uses and Designations

The General Plan divides the City of Escondido into 21 different neighborhoods and assigns each a Tier designation for growth management purposes. The Northeast Gateway SPA is located within the larger East Grove Neighborhood which has been designated a Tier 2A area by the Growth Management Element of the General Plan.

Tier 2A areas are considered to be predominantly residential urbanizing neighborhoods in which the overall pattern of development and urban services are already established. Tier 2A neighborhoods typically include significant in-fill parcels, which can accommodate both additional residential development and needed community facilities. The East Grove Neighborhood includes approximately 2,290 acres. The General Plan estimates that upon buildout, approximately 9,000-11,000 people will reside in the East Grove Neighborhood.

The Northeast Gateway is part of a transitional area of Escondido, surrounded by land uses that decrease in intensity as one travels southwest to northeast as illustrated on Exhibit 1-7. From the southwest to the south of the Northeast Gateway, land use categories alternate between suburban and urban, representing the fringe of the urbanized Midway neighborhood. This area is largely built-out with a combination of high-density residential and neighborhood commercial uses, although the uses that more directly border SPA 5 are residential in nature. Creekside, a new 24-unit single-family development borders the Specific Plan Area west of the Escondido Creek channel and north of East Washington Avenue. Immediately south of the Northeast Gateway is the 507-acre East Grove Specific Plan Area. At buildout, East Grove will include a maximum of 297 dwelling units and 331 acres preserved for continued agricultural use. Lot sizes within the East Grove's eight residential villages range from 10,500 square feet to 23,900 square feet.

The rural residential (R1) land uses of the Lake Wohlford neighborhood border the Northeast Gateway from the southeastern corner to the immediate north. Due to natural constraints and a high proportion of publicly held land, there is only a relatively small area of the Lake Wohlford neighborhood available for private development. Consequently, at buildout, it is anticipated that less than 1,000 people will reside in the Lake Wohlford neighborhood.

Immediately to the west of the Lake Wohlford neighborhood is the 5,300-acre Daley Ranch (SPA #2). The area is largely rural and contains the Lake Dixon public recreation area. Although the current Escondido

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General Plan establishes standards for the residential development of SPA #2, subsequent to the adoption of the General Plan, the City of Escondido purchased Daley Ranch for the purposes of open space recreation and environmental preservation. Consequently, SPA #2 is no longer available for residential development.

Immediately south of Daley Ranch, exactly west of the Northeast Gateway Specific Plan Area, the land use is rural (R1). This area is also contained within the East Grove Neighborhood. Although the R1 zoning permits one dwelling unit per four acres on 0-25% slopes, the majority of the area west of the Northeast Gateway rises steeply in slopes exceeding 25%. It is therefore unlikely that any appreciable development will take place immediately west of the Northeast Gateway.

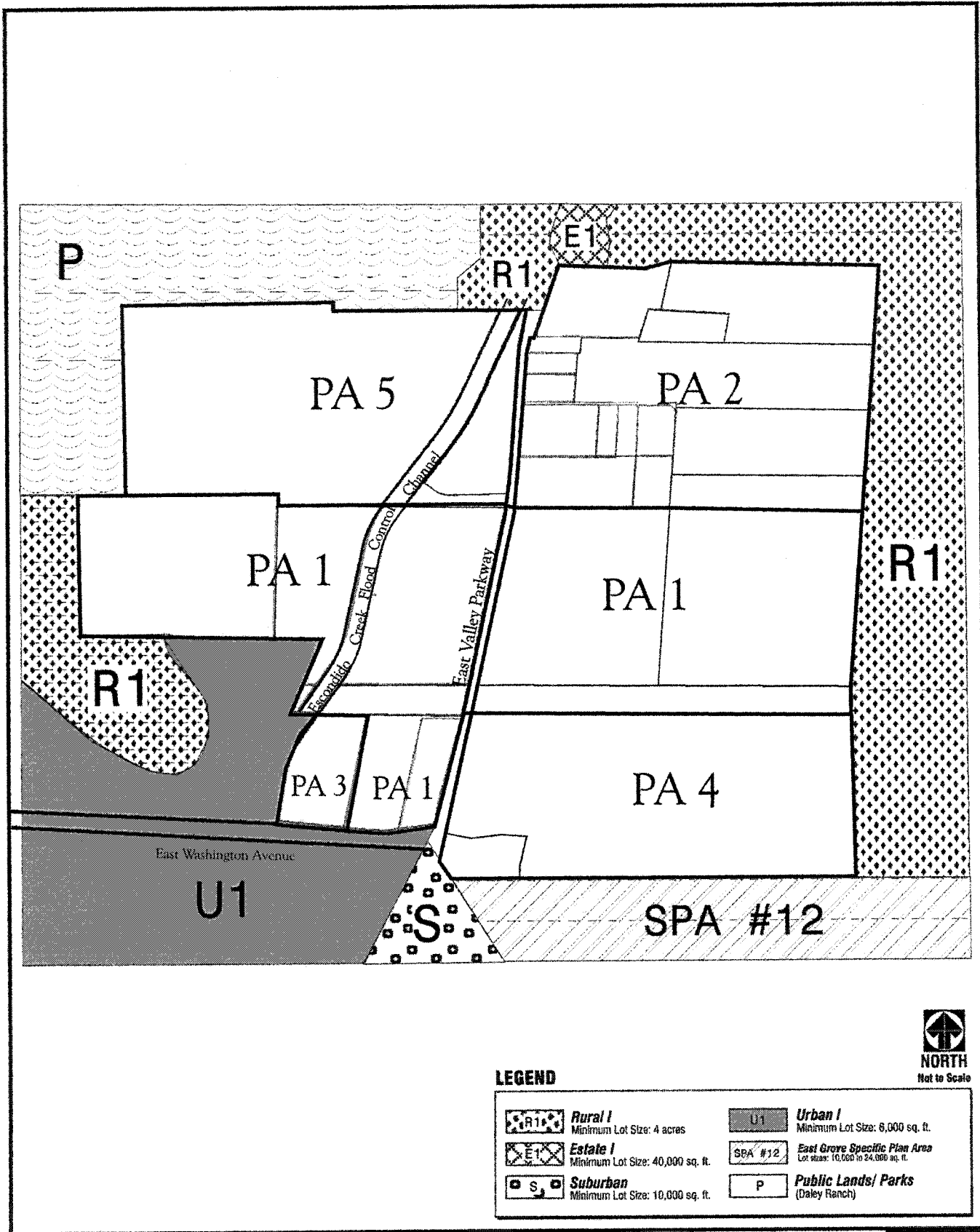


Exhibit 1-7

**SPECIFIC PLANNING AREA 5 –
NORTHEAST GATEWAY**

SURROUNDING LAND USES

ESCONDIDO, CA

JACK HENTHORN & ASSOCIATES

1.4.4 Summary of The Land Use Plan

The 418-acre Northeast Gateway Specific Planning Area is located at the northeast edge of the City of Escondido. The future development of the Northeast Gateway will be guided by the Land Use Plan shown on Exhibit 1-8a. The Land Use Plan is a conceptual design intended to guide the general development of the Northeast Gateway and groups the existing planning areas into three basic categories: natural open space, modified open space, and residential. Acreages for the various land use categories are tabulated in Table 1-B, Land Use Summary.

The land use plan was derived primarily through the slope analysis process as described in Chapter 2 of this Specific Plan. The slope analysis was applied to all land with development potential within the boundaries of the SPA, as described in the Escondido General Plan. Consequently, the right-of-way of East Valley Parkway and the Escondido Creek flood control channel and associated right-of-way, a total of 10 acres, were not analyzed using the slope formula. The land use plan illustrated on Table 1-B and described below is therefore based on 408 acres instead of 418.

The 408 net acres of the Northeast Gateway were analyzed using the slope analysis formula to determine the maximum number of residential units that could be accommodated within the SPA. The Escondido General Plan establishes that although residential density may be derived from PAs 4 and 5, the intended land use is to be public or non-profit non-residential. Consequently, all land with a slope of less than 25% within PAs 4 and 5 is included in the modified open space category on Table 1-B. The acreage of PAs 4 and 5 that exceeds 25% slope is included in the natural open space category. Deducting the total non-residential, publicly-held acreage within PAs 4 and 5 leaves a total of 260 acres of privately-held land potentially available for development.

Of the 206 acres of privately-owned land, approximately 67 acres of the area analyzed contained slopes of 25% or greater. The Escondido General Plan prohibits development on slopes of 25% or greater, requiring the transfer of any derived density to the flatter portion of the site. The 67 acres of steep slopes are considered "natural open space" in the land use plan, leaving 193 acres, or about 46% of the SPA, available for actual physical development.

Under the Escondido General Plan's slope analysis yield method, a maximum of 517 residential units may be accommodated on the 193 residential acres. However, 167 of the 517 units are derived from public land within the two open space categories. Their re-allocation to the

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residential land use areas of the Northeast Gateway is at the discretion of City Council as described in section 1.4.2. As a result, the total number of units immediately available for private development within the SPA is 350, representing an average residential density of approximately 0.8 dwelling units/acre over the entire SPA. If City Council should elect to allocate all of the public lands units for private development, the total number of dwelling units in the Northeast Gateway shall not exceed 517, or an average density of 1.2 dwelling units/ acre.

Lot Size Ranges

Exhibit 1-8b illustrates the location of the lot size ranges provided for residential development within the Northeast Gateway SPA. Each Planning Area is assigned one or more lot area ranges depending on the PA's location within the SPA, its proximity to existing infrastructure, and the type and intensity of the adjacent land use. Future development within each lot range area may include lots with an area larger than the maximum lot size identified for each range; however, future development may not include any residential lots with an area less than the minimum lot size provided in the particular range area.

Development in PAs 1b, 1e, and 3 may proceed with a minimum lot size of 5,500 square feet. These planning areas are isolated from the remainder of the residential portions of the SPA, bounded by East Valley Parkway and East Washington Avenue, the Escondido Creek Flood Control Channel, and the public/non-profit uses in City-owned PA 5.

Development in PA 1c, which is adjacent to existing urban and high-intensity uses (ie: Ryan Park and East Valley Parkway), may proceed with a minimum lot size of 6,000 square feet. In order to avoid a congested appearance in those areas that utilize the 5,500 or 6,000 minimum lot size, special attention must be paid to the balance of built area and open space.

Development that does not abut high-intensity uses or the natural open space land use areas may proceed with a minimum lot size of 7,000 square feet. In order to preserve views along East Valley Parkway, all development abutting the east side right-of-way must have residential lot sizes of 8,000 square feet or greater. Finally, the lot size for all development adjacent to the natural open space areas must not be less than 10,000 square feet.

It is the intent of the Northeast Gateway Specific Plan that the lotting of future developments will use a variety of lot configurations to achieve this gradation in lot sizes. For example, lots abutting East Valley Parkway may be trapezoidal cul-de-sac lots that preserve the internal streetscape

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development rhythm but offer a more open, large-lot appearance from the East Valley Parkway view corridor.

Residential Development in Planning Area 2

Planning Area 2 of the Northeast Gateway consists of 14 individual ownerships including the Community Lutheran Church. As mentioned above, the intent of the Northeast Gateway Specific Plan is to provide land use regulations and standards for the orderly development of SPA 5 over an indefinite span of time. In this sense, the Northeast Gateway Specific Plan is an enabling document for the residents in PA 2, allowing them to develop their properties when the time is right for them, subject to the framework established in this Specific Plan.

However, even in the presence of strong land use regulations, piecemeal development rarely makes for sound planning. This is particularly true of Planning Area 2, which is constrained by Lake Wohlford Road to the north, steep hillsides to the east, and the to-be-expanded East Valley Parkway to the west. At the completion of the City of Escondido's federally-funded East Valley Parkway improvement project, all curb cuts currently providing access to PA 2 will be closed. Current and future residents within PA 2 will then need a safe and effective means of accessing their properties.

The challenge in providing for access and circulation within PA 2 is that a consolidated development effort for the Planning Area is highly unlikely, given the various ownership interests present. Consequently, the optimal circulation plan is one that strikes a balance between the current development pattern in PA 2 and the need to accommodate future growth.

The answer to the challenge is the alignment of Street "E," as illustrated on Exhibit 2-2b coupled with a planning review mechanism involving Street "E," more fully described in section 2.2.1. In summary, any development within PA 2 must respect other parcels' access to Street "E." This way, access conflicts may be avoided, and landowners may develop their properties with a minimum of required consensus between independent interests.

Residential Development in Planning Area 4

The Escondido General Plan as it is currently written establishes a one-acre minimum lot size for PA 4, a designation that remains from the 1990 land use concept wherein PA 4 was to be used for estate residential and PA 1 was to be used for a golf course and smaller lot residential development. In fact, 67 of the 70 acres in PA 4 are being used as a community park and high school, uses to which the old one-acre lot size is

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irrelevant. A General Plan Amendment by the City Council would remove the old designation.

The remaining three-acre portion of Planning Area 4, located at the extreme southwest portion of PA 4 is privately owned and designated for residential use. The one-acre minimum lot size would apply to this property if the City Council does not amend the General Plan. However, one-acre estate lots are not the most appropriate use for this property. The eastern third of the property contains an existing single-family home backing up to the natural hillsides which can be retained. The western portion of the site is flatter, free of any native vegetation, and useful for development. However, the western portion fronts upon the intersection of Hidden Trails Rd. and E. Valley Parkway, which precludes convenient street access. The single family detached units can be grouped together on the flatter portions of the site and served by a shared private road connecting to Hidden Trails Rd. Therefore, the three-acre property may be developed as a planned single-family detached residential design, including air rights condominiums utilizing shared private driveways and parking, common open space, and airspace lots with exclusive use areas. Development standards for air rights condominiums are contained in Sections 2.2.1 and 3.2.3 and summarized in Table 3-A.

Land use classifications adjacent to the three-acre property in the existing General Plan and this proposed Specific Plan permit densities ranging from 3.3 (Suburban) to 5.5 units per acre (Urban 1). An air rights condominium development on the property could potentially be appropriate at densities exceeding those of the adjacent properties, depending upon the quality and character of the design and the nature and extent of public or private amenities or facilities provided in the project, and subject to consideration and approval of the City Council.

The three-acre site can also be developed in its current condition as traditional estate residential lots without City Council approval. The site consists of three legal parcels. Because the lots were created legally, each can legally accommodate a single family residence upon the City's approval of ministerial building and grading permits and upon showing that a residence can be built on each lot in accordance with applicable building, zoning, and grading ordinances. Currently, one of the legal lots is a legal non-conforming lot in that it is smaller than the one-acre minimum. A lot-line adjustment can be processed to reconfigure the lots for home sites, as long as it does not decrease the size of the non-conforming lot.

SPECIFIC PLAN**Circulation**

As the Northeast Gateway is comprised of 17 different ownerships, the Specific Plan does not definitively prescribe the internal circulation of the residential land use categories. Instead, the Specific Plan provides a general, "backbone" circulation element that describes the primary intersections on East Valley Parkway, as established by the City, and provides guidelines to ensure that future development has adequate access to provide a safe environment for residents and motorists. Street types are described in Chapter 2 and streetscape treatments are detailed in Chapter 3, Section 3.4. The details of each development's internal circulation shall be evaluated by City standards during the traditional project review phase of development.

In accordance with the Escondido General Plan, East Valley Parkway and East Washington Avenue will receive additional treatment to soften their presence in the community and provide additional public amenities. An enhanced landscaped setback will provide a buffer for the future residential communities and a pleasant visual experience for motorists traveling along the thoroughfares. Along East Valley Parkway, which will provide six traveling lanes at the completion of the anticipated improvement project, the enhanced setback will range from 20 to 70 feet in depth, averaging 45' and will include a meandering sidewalk for pedestrian use. East Washington Avenue, which varies between two and four lanes, the setback will not be less than 20' in depth and will contain a segment of Urban Trail #8. Both treatments are more fully described in section 3.4.3.

Open Space

Open space will account for about 215 acres or 51 percent of the SPA. Natural open space consists of all slopes exceeding 25 percent grade, totaling approximately 119 acres or about 29 percent of the total SPA area. Coastal sage scrub, oak woodlands, and chaparral habitats are found on these constrained slopes. An additional 37 acres within PA 5 are developable, but as the City plans to lease the land for non-profit use, the acreage will be considered modified open space in this Specific Plan.

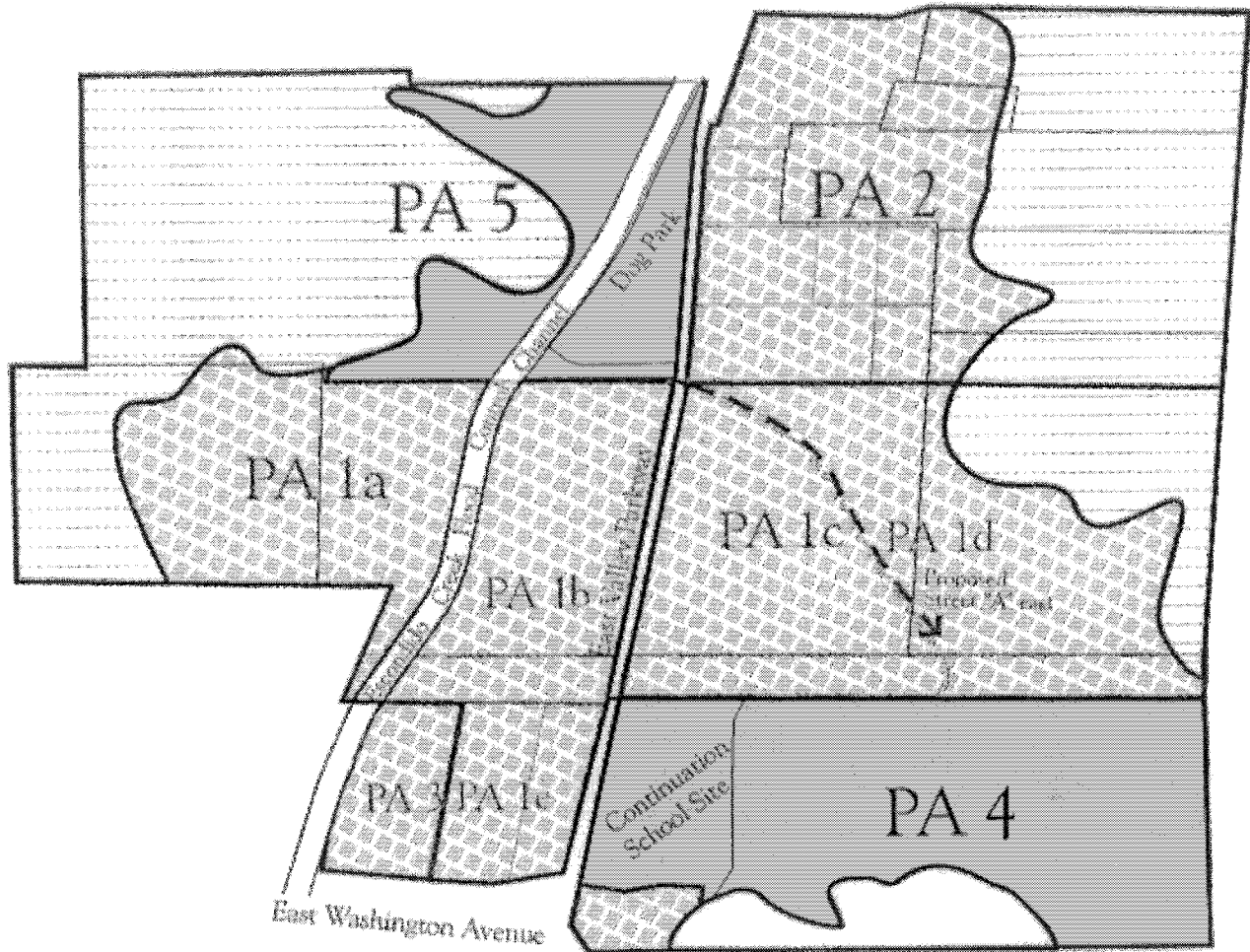
The Northeast Gateway contains two primary modified open space resources: Ryan Park and Dog Park. Both park facilities are City-initiated amenities that were developed precedent to and independent of this Specific Plan. Ryan Park's development as a year-round community resource is a significant contributing factor to the establishment of future development patterns within the Northeast Gateway.

Ryan Park is an active use recreational area within PA 4, owned and operated by the City. Incorporating approximately 59 developable acres

SPECIFIC PLAN

(approximately 8 acres are steep slopes counted in the natural open space tally), Ryan Park will include six lighted soccer fields, three lighted baseball fields, one playground, and concession stands. A portion of the developable 59 acres adjacent to East Valley Parkway will be dedicated for use as the site for the new Valley High continuation high school, which will operate independently of Ryan Park, under the auspices of the Escondido Union High School District.

The City's first off-leash dog facility, Dog Park, is also included within the modified open space category. Dog Park occupies the northern 1.25 acres of the triangle of land within PA 5, located between the Escondido Creek channel and East Valley Parkway. The total modified open space acreage for the Northeast Gateway Specific Plan Area is approximately 96 acres, or 23% of the total SPA.



LEGEND

	<i>Residential</i>
	<i>Natural Open Space</i>
	<i>Modified Open Space</i>



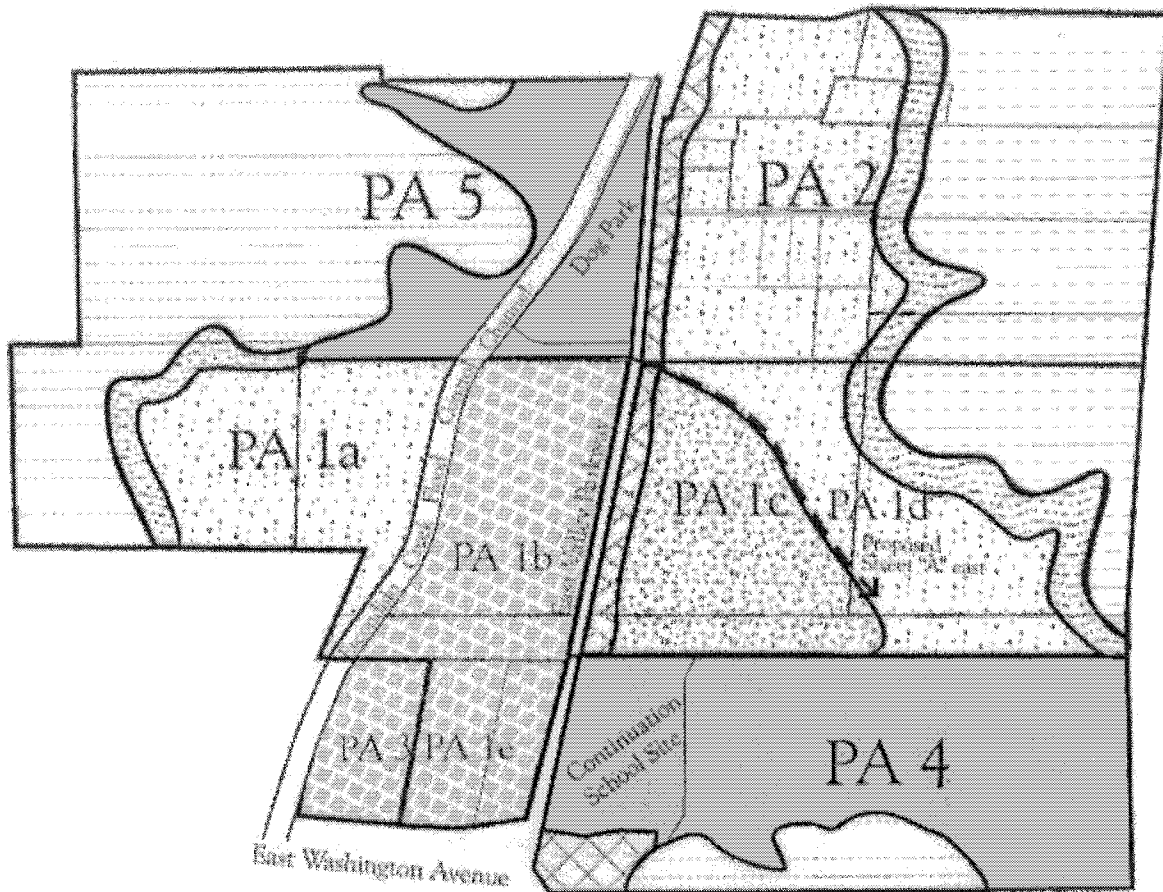
Exhibit 1-8a

**SPECIFIC PLANNING AREA 5 –
NORTHEAST GATEWAY**

ESCONDIDO, CA

LAND USE PLAN

JACK HENTHORN & ASSOCIATES



LEGEND

Residential Lot Size Ranges		
	6,000 to 8,000 sq. ft.	
	7,000 to 10,000 sq. ft.	
	8,000 to 10,000 sq. ft.	



Exhibit 1-8b

**SPECIFIC PLANNING AREA 5 –
NORTHEAST GATEWAY**

ESCONDIDO, CA

LOT SIZE RANGES

JACK HENTIGORN & ASSOCIATES

Table 1-B Land Use Summary

LAND USE	PLANNING AREA	ACREAGE
Residential	1	132.46
	2	50.43
	3	7.97
	4	2.23
	5	0.00
	Total	193.09
<hr/>		
Natural Open Space	1	28.35
	2	38.82
	3	0.00
	4	8.31
	5	43.87
	Total	119.35
<hr/>		
Modified Open Space	1	0.00
	2	0.00
	3	0.00
	4	58.94
	5	36.97
	Total	95.91

2. DEVELOPMENT PLAN

2.1 OVERALL CONCEPT

The Northeast Gateway Specific Plan evolved as a result of intensive environmental analysis and consultation with the existing residential community within the SPA. The result of these efforts is a land use plan which satisfies the goals and objectives of the Escondido General Plan and provides for future development while maintaining the sense of community critical to the sense of place of the Northeast Gateway.

In providing guidelines for the development of the Northeast Gateway, the Northeast Gateway Specific Plan effectively balances the development potential of the Northeast Gateway, a Tier 2A neighborhood, with its aesthetic importance as the Gateway to Escondido. The balance of development is achieved through the lot size gradient illustrated on Exhibit 1-8b. The lot size ranges match higher-intensity residential development with existing high-intensity urban uses, then transition future development to a level most compatible with existing natural open space areas. The enhancement of the SPA's aesthetic value is achieved largely through the treatment of East Valley Parkway and East Washington Avenue, described in detail in section 3.4.3.

The Northeast Gateway Specific Plan is sensitive to the fact that there are many individual ownerships present within the SPA, each with their own development goals. The Specific Plan does not anticipate a definitive development schedule for the build-out of the SPA, but instead offers development guidelines and standards that will effectively integrate future residential developments with previous developments, including existing residential uses, without requiring coordinated phasing between the various landowners.

2.2 LAND USE DESCRIPTION

The Northeast Gateway Land Use Plan is shown on Exhibit 1-8 and the Land Use Summary is shown on Table 1-2. The Land Use Plan divides the Specific Planning Area into basic land use categories and illustrates the general circulation plan. The Land Use Summary identifies land uses and acreages for each of the land use categories: Residential, Natural Open Space and Modified Open Space.

A quantitative description of each land use designation is provided below. More specific details, including land use regulations and design guidelines are presented in Chapter 3.

2.2.1 Residential

Residential Yield

The Northeast Gateway Specific Planning Area was not defined by a General Plan land use category that would have established minimum lot sizes and the maximum residential density of the area. Instead, the Escondido General Plan defined a slope analysis formula to be used in the determination of residential yield within the SPA.

The method that implemented the General Plan formula is as follows: The City's topographic map of the Northeast Gateway was digitized, lots identified by ownership, and then contiguous lots under the same ownership (ownership-area) were analyzed by computer to determine the acreages within the three slope categories defined by the General Plan for the Northeast Gateway Specific Planning Area. In accordance with City policy, acreage contained within the channel of the Escondido Creek floodway and the ultimate right-of-way of East Valley Parkway were deducted from each ownership-area's total acreage. The acreage within each category was multiplied by its corresponding yield factor, then the yields in each category for each ownership-area were totaled for the maximum allocation per ownership.

Yield factors

Slope Category	Units per Acre
0-10%	2
10-25%	.5
>25%	.25

Also per City policy, any calculated fractional units were rounded down to the previous whole number within each slope category. The resulting maximum residential yield for the Northeast Gateway Specific Planning Area is 517 units, as illustrated on Table 1-1.

The Northeast Gateway includes two areas owned by the City of Escondido and planned for public recreational uses. These areas include all of PA 5 and the majority of PA 4. Together, these parcels yield 167 potential dwelling units owned by the City of Escondido which may be transferred to other parcels within the Specific Plan Area at the discretion of City Council. The terms of future allocations of public units to private development areas will be described by a negotiated development agreement between the project applicant and the City of Escondido. The quantity of public units allocated will be determined on a case-by-case basis relative to the value of the public benefit improvements offered by the applicant. Consequently, the final build-out density of SPA 5 may be less than 517 units.

SPECIFIC PLAN**Lot Sizes**

The Northeast Gateway serves as a transitional area between the highly developed urban land uses to the southwest and the rural development and constrained open space to the west and north as described in Section 1.4.3, Surrounding Land Uses. Future development within the Northeast Gateway must also be mindful of the high-intensity use associated with Ryan Park within PA 4. Consequently, the City of Escondido has established that the residential density within the Northeast Gateway should be "feathered," that is, planned so that the residential density decreases as one moves northeast from southwest, from an urban development density compatible with the land uses adjacent to the southwest corner of the SPA to a density compatible with the Lake Wohlford neighborhood to the northeast.

Exhibit 1-8b illustrates the location of the lot range areas provided for residential development within the Northeast Gateway SPA. Future development within each lot range area may include lots with an area larger than the maximum lot size identified for each range; however, future development may not include any residential lots with an area less than the minimum lot size provided in the particular range area. Development in PAs 1b, 1e, and 3 may proceed with a minimum lot size of 5,500 square feet. These planning areas are isolated from the remainder of the residential portions of the SPA, bounded by East Valley Parkway and East Washington Avenue, the Escondido Creek Flood Control Channel, and the public/non-profit uses in City-owned PA 5. Development in PA 1c, which is adjacent to existing urban and high-intensity uses (i.e. Ryan Park and East Valley Parkway), may proceed with a minimum lot size of 6,000 square feet. In order to avoid a congested appearance in those areas that utilize the 5,500 or 6,000 minimum lot size, special attention must be paid to the balance of built area and open space. Development that does not abut high-intensity uses or the natural open space land use areas may proceed with a minimum lot size of 7,000 square feet. In order to preserve views along East Valley Parkway, all development abutting the east side right-of-way must have residential lot sizes of 8,000 square feet or greater. Finally, the minimum lot size for all development adjacent to the natural open space areas is 10,000 square feet.

Residential Development in Planning Area 2

Constrained by Lake Wohlford Road to the north, steep hillsides to the east, and the to-be-expanded East Valley Parkway to the west, Planning Area 2 presents a special challenge in long-range planning for the Northeast Gateway.

Generally, once the Northeast Gateway Specific Plan is adopted, any landowner may submit a subdivision map and develop his or her property in accordance with the standards of this Specific Plan and City regulations. However, practice has proven that when piecemeal development is permitted without regard to the known access issues described in section 1.4.4, conflicts arise.

The Northeast Gateway Specific Plan prevents the conflict scenario by identifying an alignment for the backbone infrastructure for the Planning Area and describing a process through which individual owners may pursue their development goals while not infringing on the current access of other owners.

The circulation plan described in section 2.3.3 describes the alignment of Street "E" as the new access through PA 2 in lieu of the private driveways and easements currently accessing East Valley Parkway directly. At some point during the East Valley Parkway widening project, these driveways and easements will be closed by the City of Escondido as a safety measure.

Street "E" begins at Lake Wohlford Road and enters the Planning Area via an existing easement dedicated to the City by the Community Lutheran Church. Street "E" connects to the proposed major access road, Street "A," south of PA2, providing through-access and a connection to East Valley Parkway. As illustrated on Exhibit 2-2b, Street "E" follows the existing property lines within PA 2, providing access to each individual property. The circuitous alignment also provides a traffic calming effect, discouraging motorists from taking a shortcut through the Planning Area to avoid the traffic light at Lake Wohlford Road and the proposed light at the intersection of Street "A" and East Valley Parkway. Street "E" will provide two 12-foot travel lanes and a 20-foot building setback on each side of the right of way.

All development within PA 2 will be evaluated relative to its impact on other properties' access to Street "E." No development proposal may alter the alignment of Street "E" in such a way that another resident's lot is denied access to Street "E." During the review phase of development, City Staff will make the determination as to the impact of a proposal on access to Street "E."

In the process of designing future subdivisions within PA 2, a realignment of Street "E" may be required to promote safe and efficient circulation, both within the proposed development and through the Planning Area as a whole. Since the purpose of the established alignment of Street "E" is to prevent access conflicts within PA 2, any realignment of Street "E" will

constitute an amendment to the Northeast Gateway Specific Plan unless 100% of the landowners within PA 2 consent to the realignment.

A proposed realignment that receives unanimous support from the existing owners within PA 2 may be processed as an Administrative Amendment to the Northeast Gateway Specific Plan, pursuant to section 4.9.1 of the Northeast Gateway Specific Plan. The formal amendment process described in section 4.9.2, shall be applied in those instances where a realignment proposal does not have the unanimous support of the owners within PA 2.

In addition, it is anticipated that the East Valley Parkway widening project will come to completion some time after the formal adoption of the Northeast Gateway Specific Plan. Consequently, there is a potential for development to occur within PA 2 prior to the completion of the East Valley Parkway project. In order to prevent access conflicts upon the completion of East Valley Parkway, no PA 2 subdivision processed prior to the completion of the East Valley Parkway widening may take access directly from East Valley Parkway. All developments processed under the guidelines of the Northeast Gateway Specific Plan, regardless of the status of the East Valley Parkway project, shall utilize Street "E" as depicted on Exhibit 2-2b as the access to the property.

As a result, the first property to develop within PA 2 will be responsible for the construction of Street "E" from its intersection with either Lake Wohlford Road or Street "A" to the subject property. Future developments shall be required either to extend Street "E," or participate in a reimbursement agreement for that segment of Street "E" constructed as a result of a previous project but utilized as the access to the proposed project.

Residential Development in Planning Area 4

With a one-acre minimum lot size mandated by the City of Escondido General Plan, PA 4 is the only Planning Area within the Northeast Gateway with a General Plan lot-size requirement, apparently a remnant of the original golf-course based plan proposed by the General Plan for the future development of SPA 5. The General Plan's description for SPA 5 has since undergone a revision, changing the focus of the SPA from a golf course to a major park and reorganizing the Planning Areas as to separate publicly owned land from private landholdings. The original and revised General Plan descriptions for SPA 5, the Northeast Gateway, are included in the Appendices of this Specific Plan.

In order for the Northeast Gateway Specific Plan to conform to the General Plan as it is written, the Specific Plan cannot permit development

SPECIFIC PLAN

within PA 4 on lots that are less than one acre in area. However, the off-site General Plan land uses adjacent to the residential portion of PA4 permit Suburban densities (10,000 square foot lot minimums), and the portions of the Northeast Gateway that are similar to the residential area of PA 4 permit development on lots ranging from 6,000- 10,000 square feet.

Consequently, in the interests of providing for equitable use of the residential portions of PA 4, the City of Escondido has authorized the development of "air rights condominiums" only within the residential portion of PA 4. Air rights condominiums provide for the development of privately-owned residential units located within "exclusive use areas" that are in turn located within one legal lot in which all residential owners share an undivided interest. A further description and development standards are found in Chapter 3 and summarized on Table 3-B. Product type within an air rights condominium project in PA 4 shall be limited to single family detached homes.

The residential portion of PA 4 can also be developed in its current condition as traditional estate residential lots without City Council approval. The property currently consists of three legal parcels comprising approximately three acres. Because the lots were created legally, each can legally accommodate a single family residence upon the City's approval of ministerial building and grading permits and upon showing that a residence can be built on each lot in accordance with applicable building, zoning, and grading ordinances. Currently, one of the legal lots is a legal non-conforming lot in that it is smaller than the one-acre minimum. A lot-line adjustment can be processed to reconfigure the lots for home sites, as long as it does not decrease the size of the non-conforming lot.

2.2.2 Open Space

The Northeast Gateway SPA consists of approximately 119 acres of steep slopes (in excess of 25%) that will be preserved as non-agricultural open space. The steep slope open space areas account for nearly 29% of the total 418 acres of the Northeast Gateway. In addition, 59 acres of otherwise developable land within PA 4 (slopes less than 25%) will be developed as Ryan Community Park, an active recreational facility, and 37 acres of the developable land within PA 5 will be preserved as City-owned open space and either developed with community facilities or leased to a non-profit organization for other public services. In all, 215 acres of the Northeast Gateway SPA, or approximately 51% of the total area, will be preserved either as natural or modified open space.

SPECIFIC PLAN

The open space system within the Northeast Gateway serves several functions. First, it acts as an amenity to the community, preserving the aesthetic value of the steep slopes which give character to the Northeast Gateway. Second, the steep slope open space areas preserve the sensitive and significant environmental habitats within the Northeast Gateway, including Coast Live Oak woodland, Englemann Oak woodland, coastal sage scrub, and chaparral. Finally, the developed and improved open space areas, such as Ryan Community Park, Dog Park, and the maintained General Plan element trails provide recreational opportunities for the residents of Escondido, contributing to an enhanced quality of life.

Open space areas have been divided into two categories within the SPA: natural open space and modified open space. Northeast Gateway open space locations are illustrated on the Open Space Plan, Exhibit 2-1.

1. Natural Open Space

The natural open space land use areas comprise all slopes of 25% grade or greater. These areas are found along the eastern and western boundaries of PA 1, the eastern portion of PA 2, the eastern and southern boundaries of PA 4, and nearly all of PA 5, totaling approximately 119 acres or 29% of the Northeast Gateway.

The natural open space land use areas contain the vast majority of the sensitive habitats onsite, including coastal sage scrub, southern willow scrub, coast live and Englemann oak woodlands, and chaparral. Transfer of residential density from these slopes to the residential land use areas has resulted in the permanent preservation of the slopes and their habitats.

Rural trails are planned to traverse the lower slopes of the natural open space areas. These trails will be improved only so far as to create paths to keep the users of the trail system from straying off-trail and impacting the sensitive habitats that are found on the slopes. The acreage of the trails as well as the acreage dedicated to facilities directly related to the permitted uses within the open space area per Article 3 of the Escondido Zoning Code, such as the Daley Ranch trailhead and staging area, are included in the total acreage of natural open space.

Specifically, regional connector rural trail "R6," as described in the City of Escondido's Master Plan for Parks, Trails, and Open Space, will be constructed within the natural open space area located along the eastern side of the SPA. The trailhead for the

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Daley Ranch preserve will be constructed within the natural open space area of PA 5.

The preservation of natural open space will help preserve the rural character of the area. The use of rural trails through the open space areas will also help preserve the rural heritage of the area by providing pedestrian access to scenic views of the area, which enables residents to enjoy and appreciate the rural setting.

2. Modified Open Space

Modified open space areas within the Northeast Gateway are those areas that will be developed to incorporate improvements for organized sports or maintained to provide areas for passive recreation. The modified open space land use category includes 59 of the 67¹ acres of Ryan Community Park (Ryan Park) within PA 4, and the 1.25-acre Dog Park, within PA 5.

The Ryan Park development is a city-initiated and maintained public recreational facility planned to include six lighted soccer fields, three lighted baseball fields, lighted multi-purpose courts, a playground, and concession stands. A portion of the developable 59 acres adjacent to East Valley Parkway will be dedicated for use as the site for the new Valley High continuation high school, which will operate independently of Ryan Park, under the auspices of the Escondido Union High School District. The Dog Park recreational area is a lighted field for off-leash recreation for dog-owning residents of Escondido. The remaining 37 acres of the developable land within PA 5 will be preserved as City-owned open space and either developed with community facilities or leased to a non-profit organization for other public services.

It is anticipated that the future residential developments will incorporate internal open space areas for aesthetic value and passive recreational use. These areas will also be considered modified open space, and in the event that a landscape maintenance district is disapproved, maintenance of these areas will become the responsibility of the homeowners' association for the respective development.

¹ Approximately 8 acres of the Ryan Park site are constrained in steep slopes, counted in the natural open space tally. The majority of the 59 acres will be developed with recreational facilities.

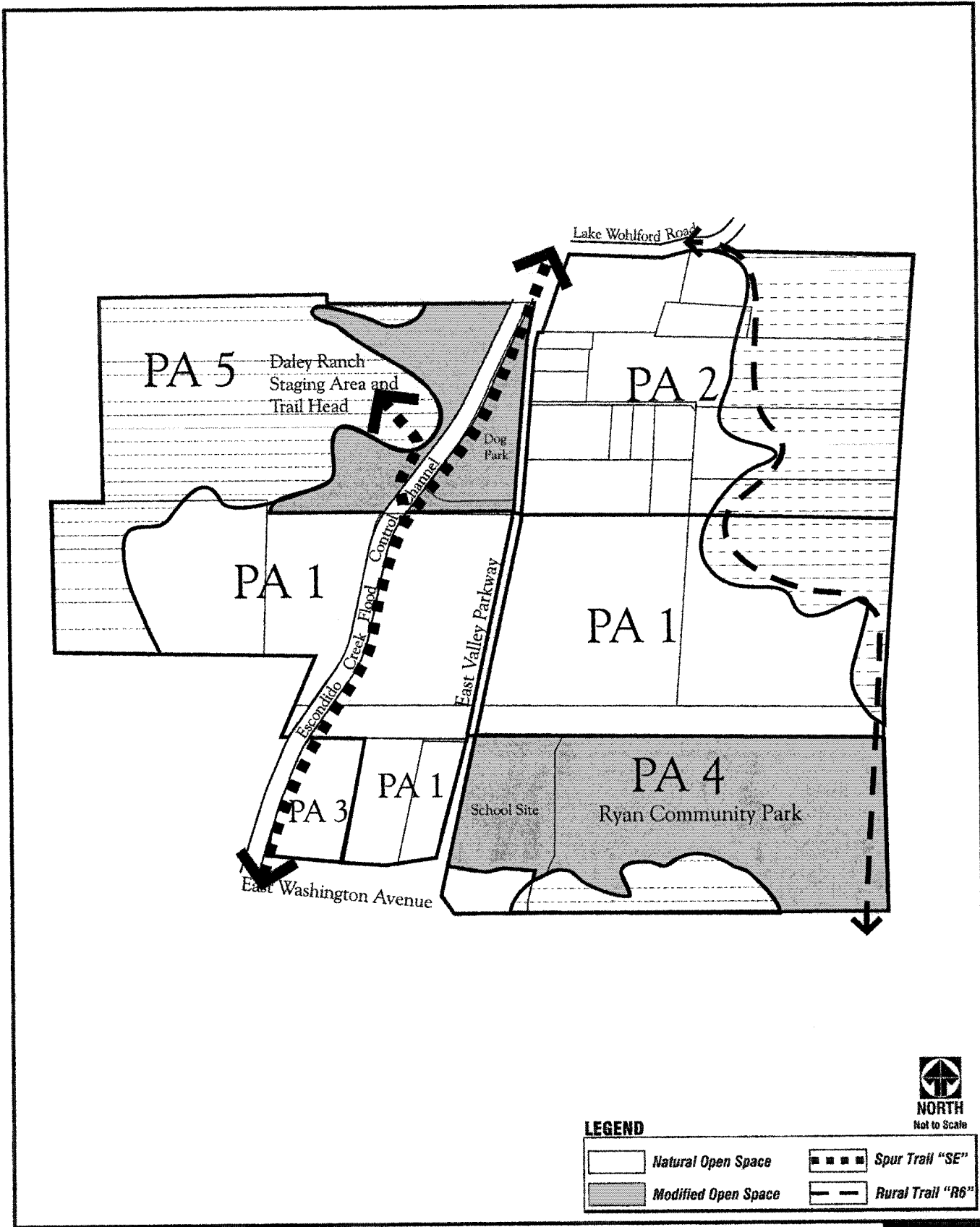


Exhibit 2-1

**SPECIFIC PLANNING AREA 5 –
NORTHEAST GATEWAY**

OPEN SPACE PLAN

ESCONDIDO, CA

JACK HENTHORN & ASSOCIATES

2.2.3 Agricultural Lands

Implementation of the Northeast Gateway Specific Plan will allow for the continuation of agricultural activities within those areas of the SPA included in the residential land use category. Agricultural operations are further described in Section 2.6 of this chapter. Regulations for agricultural uses within the residential land use areas are included in Chapter 3, Section 3.2.3.

2.3 CIRCULATION

The Northeast Gateway circulation plan describes the basic transportation system and standards for safe vehicular and pedestrian movement within the SPA. The circulation plan is concerned primarily with the major circulation routes (East Valley Parkway and East Washington Avenue) and local access to the residential land use areas of the SPA. Circulation internal to future developments will arise as a result of each development's design and City review. In this way, the circulation plan establishes a circulation framework developed to City specifications while providing for flexibility in the extension of project circulation routes as the SPA develops.

The Northeast Gateway Specific Plan cannot anticipate the traffic generation of future development projects outside of the SPA that may require access through the Northeast Gateway. Of particular concern in this regard is any development that may occur in the area immediately north of the SPA between the western ridge and East Valley Parkway. Any improvements to the proposed circulation roads, described in section 2.3.3, required to accommodate development outside of the SPA will be the responsibility of the applicant of that off-site development and subject to City standards.

The Northeast Gateway circulation plan also includes a pedestrian trail element, described in Section 2.3.5.

2.3.1 Regional Access

The relationship of the Specific Planning Area to the regional circulation system is shown by the Vicinity Map on Exhibit 1-1. Regional access is provided to Escondido by Interstate 15 (I-15), a north-south transportation corridor, and State Highway 78 (SR-78), an east-west transportation corridor. Beginning at Interstate 5 in downtown San Diego, Interstate 15 extends northward through Escondido, to Riverside County and beyond. Interstate 15 is intersected in Escondido by State Highway 78. State Highway 78 extends eastward from Interstate 5 near the boundary between Oceanside and Carlsbad, through Escondido, to the community of Ramona

SPECIFIC PLAN

to the east. Interstate 15 and State Highway 78 are both classified as freeways.

2.3.2 SPA Access

Access routes to the Northeast Gateway are illustrated by Exhibit 1-2. Primary access from Interstate 15 is provided by three local routes. Designated a Prime Arterial/Major Road/Collector by the Circulation Plan of the Escondido General Plan, Valley Parkway extends in a northeasterly direction from Interstate 15 to the intersection with East Washington Avenue (El Norte Parkway) at the southern boundary of the Northeast Gateway. North of the East Washington Avenue intersection, Valley Parkway becomes East Valley Parkway, a Prime Arterial, which continues northward through the Specific Planning Area towards the unincorporated community of Valley Center.

The second access route is provided by El Norte Parkway and East Washington Avenue, which are both designated as Major Roads. When the connection between El Norte Parkway and East Washington is completed, a direct route will extend eastward from Interstate 15 to Valley Parkway. In the interim, El Norte Parkway can be reached from East Washington via Citrus Avenue. Southerly access to Interstate 15 is provided by Bear Valley Parkway, a Major Road, which begins at Valley Parkway, one-half mile south of East Washington and intersects Interstate 15 just south of the North County Fair regional shopping center.

It is anticipated that, with the exception of Planning Area 3, PA 1e, and the residential portion of PA 4, the majority of future residential development within the Northeast Gateway will take access from future signalized intersections along East Valley Parkway. Internal local roads will branch from the intersection, serving each future community. Future development within PA 3 and PA 1e may take access from internal circulation routes that connect to the primary access from East Valley Parkway, but will more likely take primary access from East Washington Avenue. Future development within PA 2 may take access from Lake Wohlford Road. The residential area of PA 4 will take access from the Cloverdale Road extension.

East Valley Parkway Improvements

The City of Escondido has received a Federal grant for the expansion and improvement of East Valley Parkway as a result of increased demand generated by the development of Valley Center. Currently, East Valley Parkway incorporates one travel lane in each direction.

SPECIFIC PLAN

At present, the City is considering three alternative alignments for the final design of the improved East Valley Parkway. Common to all three is the expansion of East Valley Parkway from two lanes to six within an ultimate right of way of 126 feet. A separate and independent EIR will be prepared by the City for the East Valley Parkway expansion project which was initiated prior to the development of this Specific Plan.

East Valley Parkway will also receive special treatment in its setback and landscaping. The proposed treatment consists of a double row of consistently spaced flowering accent trees with larger canopy trees naturally grouped in the background. The varying setbacks along the Planning Area 1 boundaries allow for this treatment, while narrower setbacks in Planning Area 2 and in front of the Continuation High School will only allow the initial double row of flowering accent trees. A meandering sidewalk will run through the setback on both the north and southbound sides of East Valley Parkway, providing a community amenity and connecting the Northeast Gateway with existing neighborhoods to the south.

The East Valley Parkway setback will continue onto the north side of East Washington Avenue and will include a segment of Urban Trail #8, as described in the City of Escondido's Master Plan for Parks, Trails, and Open Space. As described in Section 3.4.3 of this Specific Plan, East Washington Avenue is a major road versus the prime arterial of East Valley Parkway; the setback treatment will be scaled accordingly.

2.3.3 Conceptual Circulation Plan

The Northeast Gateway Specific Plan is intended as a flexible guidance document that provides for the integrated development of the SPA over an unspecified amount of time, concluding with the build-out of the area at some point in the future. However, for reasons of providing for safety and efficiency, the Specific Plan offers a concept circulation plan, depicted on Exhibit 2-2.

The concept circulation plan effectively provides primary access to the residential planning areas (PAs 1,2, and 3). Circulation internal to each future residential development will be at the discretion of the individual developer and subject to City approval; however, to reduce the number of potential intersections along East Valley Parkway, the following circulation plan also establishes secondary circulation routes branching from the primary local roads within the Planning Areas.

1. PRIMARY LOCAL ROAD "A"

Primary Local Road "A" (Street "A") is the primary access road to the northern residential areas of PAs 1 and 2, crossing East Valley Parkway at a proposed signalized intersection near the northern boundary of PA 1. The eastern and western segments will hereafter be referred to individually as "Street 'A' west" and "Street 'A' east."

Street "A" west is anticipated to be a single-loaded road receiving the majority of trips generated by PA 1a and PA 1b. Street "A" west begins at its intersection with East Valley Parkway, and runs west along the boundary of PA 1b within PA 5. This alignment will provide access to City facilities within PA 5 while also serving the southern residential uses. Design criteria for this segment of Street "A" west are shown on Exhibit 2-3a, Section A.

After crossing the Escondido Creek flood control channel, Street "A" west is aligned within the boundaries of PA 1a. Local streets within PA 1a will connect to Street "A," forming the internal residential circulation system to be established at the time of the development of the tentative map for PA 1. Design criteria for Street "A" west within PA 1a are shown on Exhibit 2-3b, Section D.

Secondary access to PA 1a will be provided by Street "G," described in the following section.

On the east side of East Valley Parkway, Street "A" east runs southeast from the intersection of East Valley Parkway. Although the final routing of Street "A" east will be established at the time of the development of the tentative map for PA 1, it is anticipated that Street "A" east will form the division in lot size within the eastern half of PA 1, forming the boundary between PA 1c and PA 1d. In accordance with the land use plan, smaller lot sizes will be located within PA 1c, between Street "A" east and East Valley Parkway. Larger lot sizes will be located within PA 1d, east of Street "A" east, between the road and the constrained hillsides. The design criteria for Street "A" east are shown on Exhibit 2-3a, Sections A and B.

Secondary access to the eastern portion of PA 1 will be provided by Street "B," described in the following section.

SPECIFIC PLAN**2. PRIMARY LOCAL ROAD "B"**

Primary Local Road "B" (Street "B") is similar in design and function to Street "A" in that it is a primary access road to the residential areas, and is composed of an eastern and a western half that intersect East Valley Parkway. The City of Escondido has determined that in the short term, the intersection of Street "B" and East Valley Parkway will accommodate both right and left in and out movements, but will remain unsignalized. It is anticipated that the spacing of the signalized intersection on East Valley Parkway will allow for turning movements without requiring an additional traffic signal.

However, in the long term as traffic volumes increase on East Valley Parkway, a signal at the intersection of Street "B" and East Valley Parkway may become necessary to ensure public safety. In order to accommodate for this potential need, the City of Escondido has proposed, concurrent with the development of PA 1, the installation of all circuitry necessary to support a traffic signal at the intersection of Street "B" and East Valley Parkway. The conduit may be utilized as a street light until the functioning signal become necessary.

Street "B" west begins at its intersection with East Valley Parkway and travels west along the proposed natural bottom drainage channel. The final alignment of Street "B" west will be determined at the time of the development of the tentative map for PA 1, but it is anticipated that Street "B" west will not cross the Escondido Creek channel. Instead, it will serve as the secondary entrance/exit to PA 1b. Street "B" west begins as a primary road with a median as depicted by Exhibit 2-3a, Section A, then transitions down to a single-loaded local road as depicted on Exhibit 2-3b, Section D.

Street "B" east begins at its intersection with East Valley Parkway and travels northeast into PA 1c. The final alignment of Street "B" east will be determined at the time of the development of the tentative map for PA 1, but it is anticipated that Street "B" east will serve as the southern visual entry into the eastern portion of PA 1, complementing the similar design of Street "A" east. Likewise, Street "B" east will begin as a primary local road with a median, as depicted on Exhibit 2-3a, Section A, then transition to a primary local road without a median, as depicted on Exhibit 2-3a, Section B.

SPECIFIC PLAN**3. PRIMARY LOCAL ROAD "C"**

Primary Local Road "C" (Street "C") provides access to PA 3 and PA 1e. Street "C," aligned with Oak Tree Place on the westbound side of East Washington Avenue, will not cross the drainage channel, but will form a loop through PA 3 and PA 1e.

Unlike Streets "A" and "B," Street "C" will be designed without a median and intersects East Washington Avenue at a non-signalized intersection. This was considered an appropriate design measure given the relatively small amount of residential opportunity provided by PA 3 and PA 1e. Street "C" is considered a primary local road because it connects directly to a General Plan element road.

4. SECONDARY LOCAL STREETS

The following secondary local streets provide access to the residential land use areas from Primary Local Roads "A," "B," and "C" and Lake Wohlford Road. With the exception of Street "D," all secondary local access streets are double loaded streets incorporating within a 60' right of way two travel lanes with parking and pedestrian improvements on each side, as depicted by Exhibit 2-3b, Section C.

Street "D"

Street "D" provides access to PA 1b and begins at its intersection with Street "A" west, on the east side of the Escondido Creek channel. Although the final alignment of Street "D" will be determined concurrent with the development of the tentative map for PA 1, it is anticipated that Street "D" will be a single loaded street, as depicted in Exhibit 2-3b, Section D.

Street "E"

Following the ultimate completion of the East Valley Parkway widening project between 2005 and 2020, the existing private easement accesses from East Valley Parkway to the residential areas of PA 2 will be closed in order to promote public safety by preventing turning movements across the six-lane road. Street "E" is proposed to provide access through PA 2 from Lake Wohlford Road to East Valley Parkway. The existing access easement on the eastern side of the Community Lutheran Church property and an intersection with Street "A" east will provide the linkages to external circulation.

SPECIFIC PLAN

Exhibit 2-2b illustrates the alignment of Street "E" through Planning Area 2. As described in section 2.2.1, Street "E" will consist of two 12-foot travel lanes and a 20-foot setback on each side of the right of way.

The alignment of Street "E" as illustrated follows the existing property lines within PA 2, providing access to each individual property. All future development proposals within PA 2 will be evaluated on their compliance with City regulations, Specific Plan standards, and the preservation of Street "E" access for all properties within Planning Area 2. Any proposed realignment of Street "E" must be processed as either an administrative or formal amendment to the Specific Plan, depending on the consensus of the existing ownerships within the Planning Area. A more complete description of the Street "E" realignment process criteria is found in section 2.2.1.

Street "F"

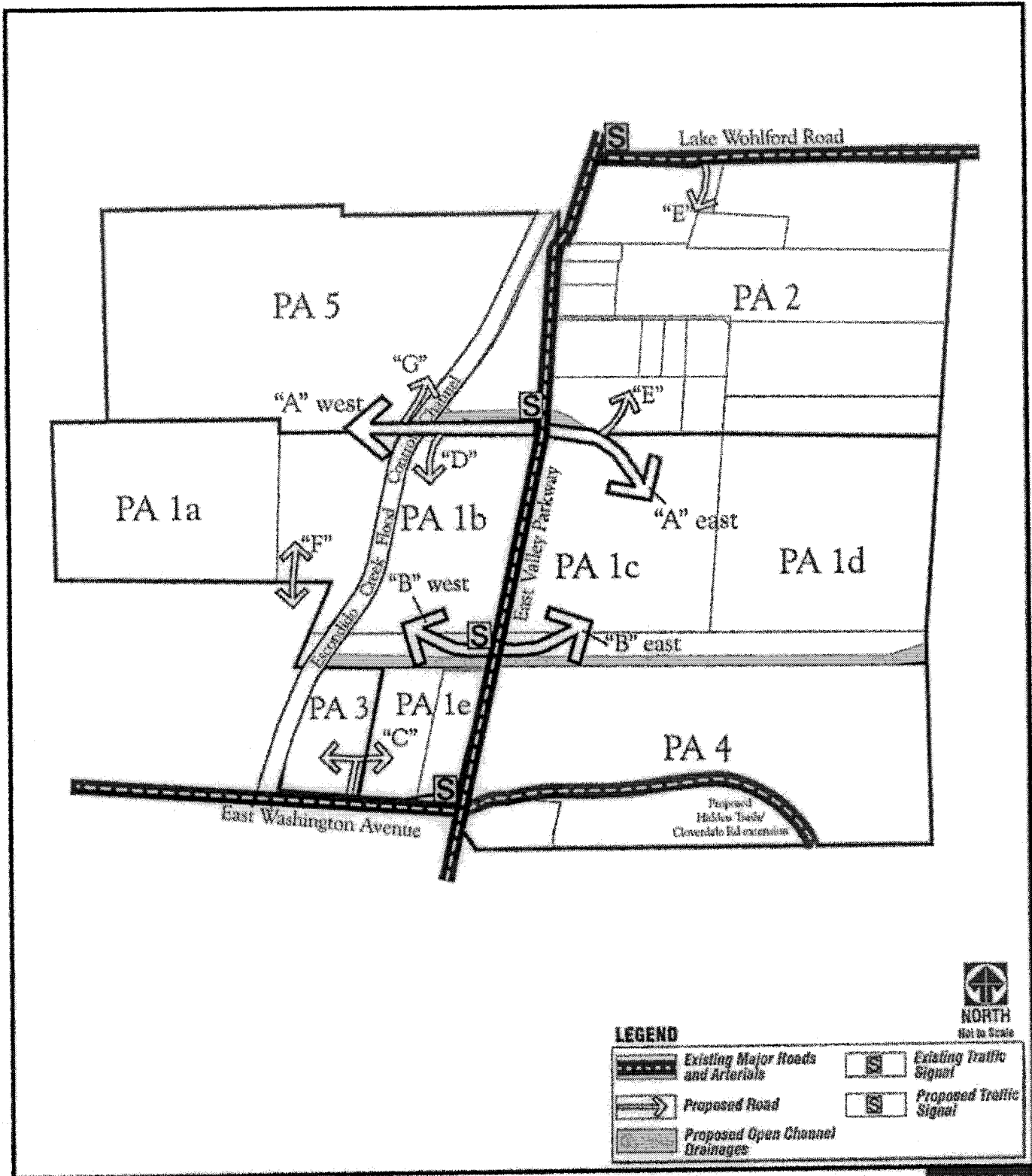
Street "F" provides secondary access to PA 1a. The alignment of Street "F" will be determined during the development of the tentative map for PA 1, but it is anticipated that Street "F" will connect to local roads within PA 1 and provide access through the southerly neighboring residential development and ultimately to East Washington Avenue.

Street "G"

Street "G" provides access to future uses within and north of PA 5, west of the Escondido Creek flood control channel. Street "G" will connect to the proposed SPA 5 circulation system via an intersection with Street "A" west. The final alignment of Street "G" through PA 5 will be determined concurrent with any development within or north of PA 5 which will require vehicular access.

5. STREET NAMES

To preserve and reflect the agricultural heritage of the area, new east/west running streets will be named (to the extent feasible) after the people that established the first citrus groves in the area, and new north/south running streets will be named after various types of citrus. The family names to be used are: Wohlford, Beven, Crane, Boudinot, Butler, Timken and Show. Street naming will also need to comply with City of Escondido policy.



**SPECIFIC PLANNING AREA 5 –
NORTHEAST GATEWAY**

CONCEPTUAL CIRCULATION PLAN

ESCONDIDO, CA

JACK HENTHORN & ASSOCIATES

Exhibit 2-2

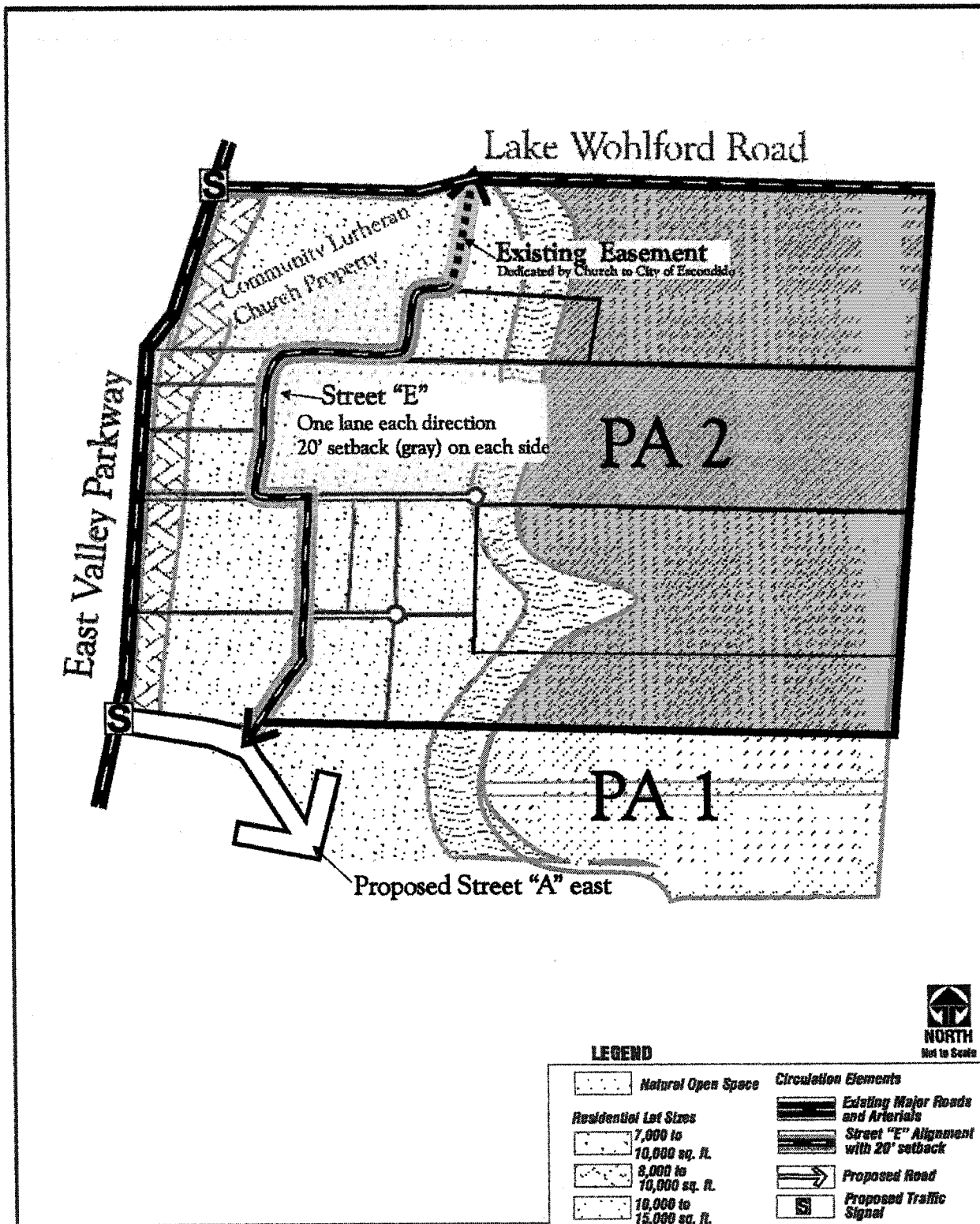


Exhibit 2-2b

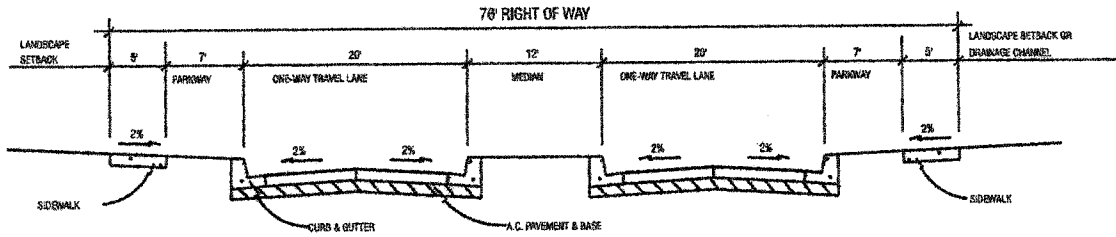
**SPECIFIC PLANNING AREA 5 –
NORTHEAST GATEWAY**

REVISED STREET “E” ALIGNMENT

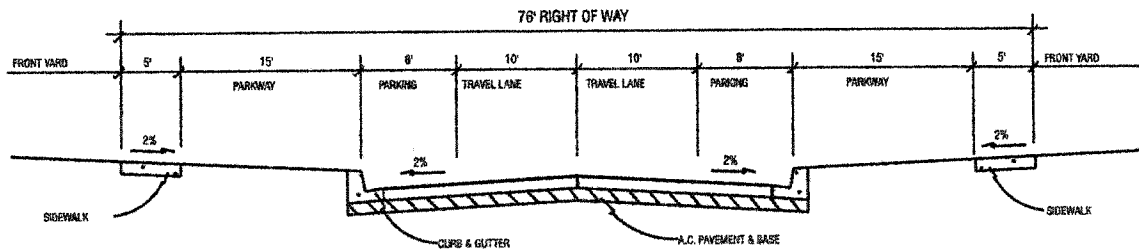
ESCONDIDO, CA

Revised 05/23/07
Reso. 2007-83

JACK HERTHORN & ASSOCIATES



STREET SECTION A
 PRIMARY ENTRY THEME STREET WITH MEDIAN



STREET SECTION B
 PRIMARY THEME STREET WITHOUT MEDIAN

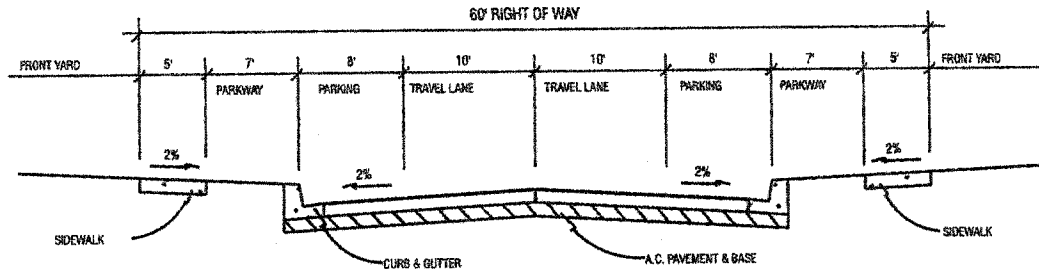
Exhibit 2-3a

**SPECIFIC PLANNING AREA 5 –
 NORTHEAST GATEWAY**

STREET SECTION “A” AND “B”

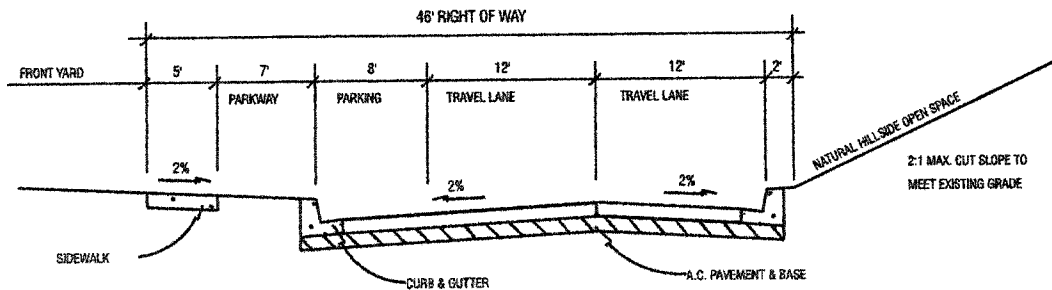
ESCONDIDO, CA

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STREET SECTION C
 LOCAL DOUBLE LOADED STREET

SCALE: 1" = 10'



STREET SECTION D
 LOCAL SINGLE LOADED STREET

SCALE: 1" = 10'

Exhibit 2-3b

**SPECIFIC PLANNING AREA 5 –
 NORTHEAST GATEWAY**

STREET SECTION "C" AND "D"

SPECIFIC PLAN**2.3.5 Trail System**

The Northeast Gateway Trail System will provide access to open areas and connections between residential areas, schools, and recreational areas. The network will extend the existing regional trails into SPA 5 and provide additional recreational opportunities for both local and regional residents. The Trail System consists of three trail classifications, Regional Connector Rural Trail, Urban Trail, and Spur. The Trail System is shown on Exhibit 2-4.

1. REGIONAL CONNECTOR RURAL TRAIL

Rural trails are generally unpaved paths that encircle the city through natural, undeveloped areas. The Northeast Gateway Trail, "R6,"² forms one link of the city's rural perimeter trail. This trail route begins at the San Dieguito River Park and travels northward along Cloverdale Road to the East Grove SPA immediately south of the Northeast Gateway, where the trail is known as the Cloverdale Creek Trail, or "R7."

The Northeast Gateway Trail begins within SPA 5 at the southern boundary of Ryan Park and continues north toward Bottle Peak, then turns and crosses East Valley Parkway, continuing on to the edge of Daley Ranch. The Northeast Gateway Trail through SPA 5 will be designed to accommodate pedestrian and equestrian uses.

2. URBAN TRAIL

Urban Trails are paved surfaces, typically sidewalks, which are within the public right-of-ways adjacent to City owned streets and the Escondido Creek channel. The Master Plan for Parks, Trails, and Open Space identifies a trail through the Northeast Gateway along the Escondido Creek channel, but classifies it as a Spur Trail, discussed in the following section.

The Northeast Gateway SPA includes Urban Trail #8, Northeast Ring (El Norte), which consists of a sidewalk at the curb of the north side of East Washington Avenue, located within the enhanced landscaped setback. Additionally, the enhanced landscaped setback along East Valley Parkway will incorporate urban trail features. Sidewalks will meander through the setback, beginning at the corner of East Washington Avenue/ Cloverdale Road and East Valley Parkway and continuing north to the Dog

² See Master Plan for Parks, Trails, and Open Space

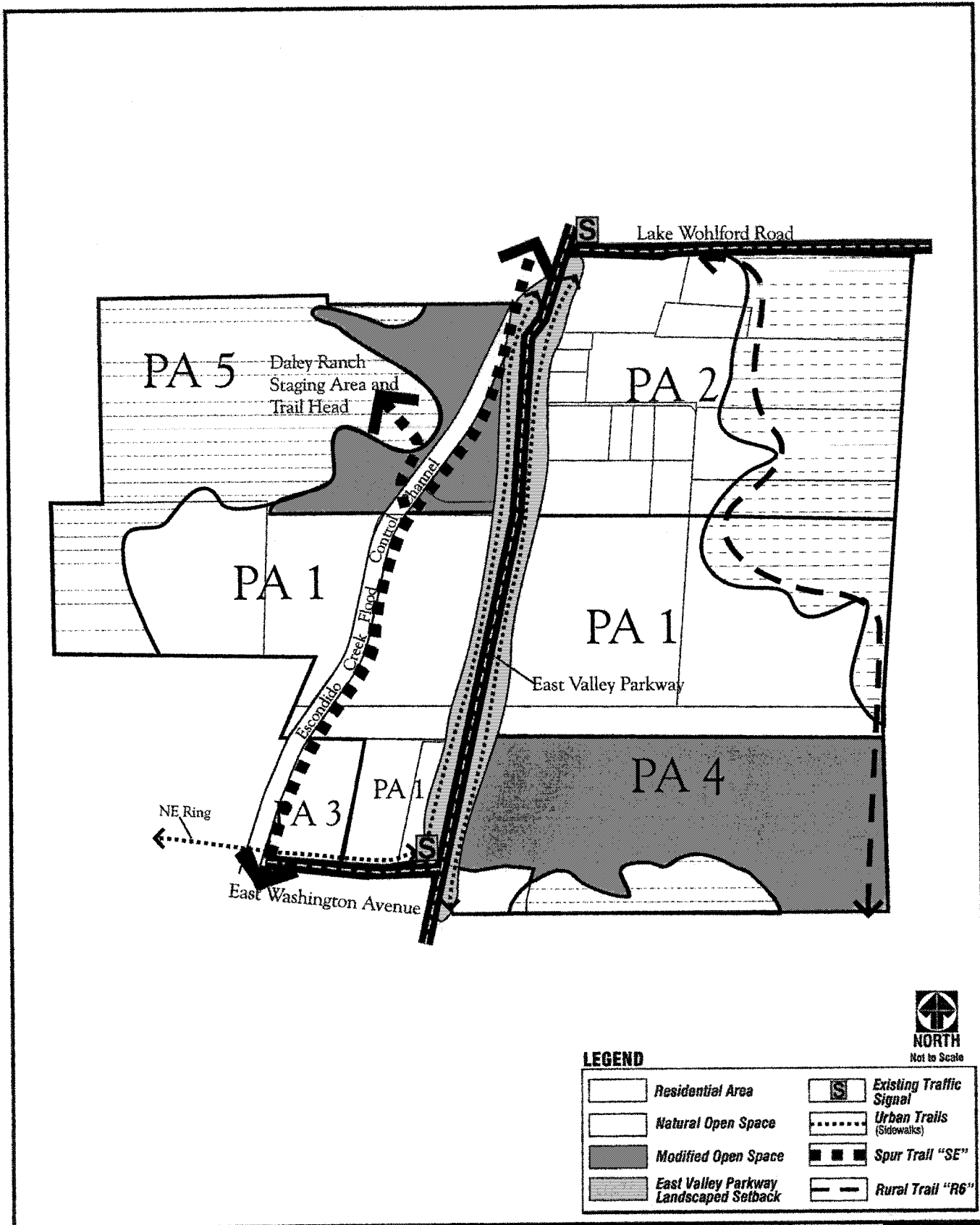
SPECIFIC PLAN

Park facility and Lake Wohlford Road. Access across East Valley Parkway will be provided via pedestrian signalization at the intersection of East Valley Parkway and Street "A," as described in Section 2.3.3. The Northeast Gateway urban trail is intended for pedestrian use. Bicyclists may access the northern portions of SPA 5 via the Escondido Creek channel spur trail described below.

3. SPUR TRAIL

Spur trails are paved surfaces within the public right-of-way and provide linkages between urban trails and rural trails. Spur trails are landscaped with street trees and parkway landscaping and generally accommodate pedestrians and bicyclists.

The Escondido Master Plan for Parks, Trails, and Open Space calls for a Spur Trail, "SE," along the Escondido Creek flood control channel. The trail will link the Northeast Gateway Rural Trail, "R6" with the urban trails/ sidewalks along East Washington Avenue. Trail section "SE" is a Category 4 Bikeway and will provide bicycle access to open space resources north of the SPA and link to other bicycle improvements south of the Northeast Gateway. To enhance public safety along the Escondido Creek Channel, fencing will be provided at the channel's edge.



**SPECIFIC PLANNING AREA 5 –
NORTHEAST GATEWAY**

ESCONDIDO, CA

TRAIL SYSTEM

JACK HENTHORN & ASSOCIATES

Exhibit 2-4

SPECIFIC PLAN**2.4 PUBLIC FACILITIES**

Public facilities for the Northeast Gateway (water and sewer transmission lines) are illustrated on Exhibit 2-5 and described in the following sections.

2.4.1 Water

Treated potable water is supplied from the Escondido-Vista Dixon Water Treatment Plant at Dixon Reservoir. The sources of raw water within the County of San Diego include the watersheds of Lakes Dixon, Wohlford and Henshaw. Local water supplies are augmented by imported water from aqueducts owned by the San Diego County Water Authority.

The Northeast Gateway contains major water transmission pipelines from the Dixon plant which provide all of the water for the City of Escondido. A 42-inch potable water pipeline passes through the west side of the SPA and a 37" pipe is located within the ROW of East Valley Parkway. Both of these pipelines are within the Filtration Plant Zone (Elevation 975) of the City of Escondido water system. A 12-inch stub out is provided for connection at the north end of Jacks Creek Road, at the northern boundary of the "Creekside" development. An additional 42-inch raw water line extends through the west side of the project area and continues westerly into Escondido within East Washington Avenue.

The City has indicated that any of the existing pipelines can be interconnected to provide service to the project area. Water pressures within the Northeast Gateway will be sufficient such that water booster facilities and pressure reduction facilities should not be required. Static water pressure at the highest lot within the SPA should be in the 50 to 85 pounds per square inch (psi) range.

The projected water demands for the SPA 5 area is 330,200 gallons per day based on a projected 517 dwelling units at 600 gallons per day design criteria required by the City. This includes the potential gallon per day requirement for the anticipated continuation school within PA 4. Adequate reservoir capacity exists for fire protection and water supply at the Clear Well of the Dixon Plant.

Minimum fire flow criteria established by the City of Escondido will be used to design the Northeast Gateway water mains. The current fire flow demand criteria is 1,500 gallons per minute with a minimum residual pressure of 20 psi.

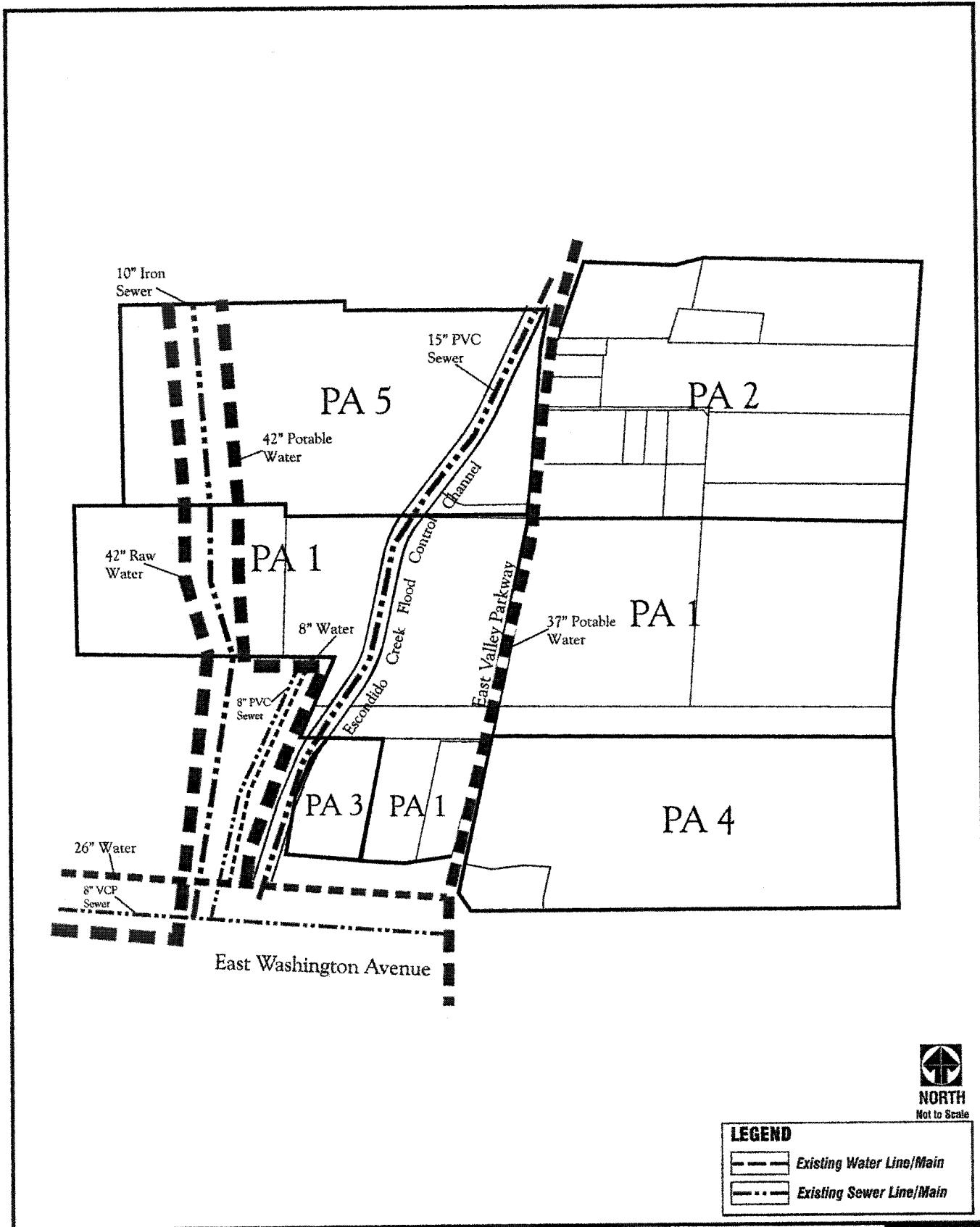


Exhibit 2-5

**SPECIFIC PLANNING AREA 5 –
NORTHEAST GATEWAY**

ESCONDIDO, CA

PUBLIC FACILITIES

JACK HENTHORN & ASSOCIATES

SPECIFIC PLAN**2.4.2 Sewer**

Sanitary sewer facilities are available both onsite and on adjacent properties. A 15" sewer passes through the Northeast Gateway on the east side of the Escondido creek channel, through PA 3, PA 1b, and into PA 5. This pipe was constructed by the Community Lutheran Church in PA 2 during its development to serve both the church and its associated school. The 15" line is connected to the City System at a manhole on East Washington Avenue. The effluent pipe from this manhole is an 8-inch size pipeline which is master planned to be up sized to a 15" for several blocks. The downstream 8-inch portion may need to be up sized to accommodate future development within the SPA.

Other sanitary pipelines include a 10-inch pipeline passing through the western side of the SPA, through PAs 1a and 5, which serves the campgrounds and treatment plant at Lake Dixon. Jack's Creek Road, the primary access road for "Creekside," contains both an 8-inch and 12-inch sanitary sewer.

Escondido's sewage is processed at the Hale Avenue Wastewater Treatment Facility which has just recently been upgraded to a capacity of 16 MGD. Flow to the plant is averaging in the 14 to 14.5 million gallon per day (MGD) range. The City of San Diego owns 5 MGD of the treatment capacity at the plant which serves the Rancho Bernardo Area. The City of San Diego has proposed to convey their sewage to another treatment facility and sell their capacity to the City of Escondido. Nothing definitive has come out of the discussions as of this date.

The wastewater demand for SPA 5 at buildout is estimated at 129,250 gallons per day based on 250 gallons per day design criteria required by the City. The excess treatment capacity at the Hale plant is currently over 1.5 million gallons per day.

Reclaimed Water

The City is currently constructing Title 22 treatment facilities at the Hale Avenue Wastewater Treatment Facility to supply reclaimed water to the area. The additional facilities will provide a reclaimed water capacity of 9 MGD. The reclaimed water distribution facilities will be available to users within the area of the treatment facility first. A major new power plant will be the largest user of reclaimed water for cooling purposes. It may be some time before reclaimed water is available in the Northeast Gateway.

SPECIFIC PLAN**2.4.3 Police Service**

Police protection for the Northeast Gateway is provided by the Escondido Police Department, headquartered at 700 West Grand Avenue. The Department has a staff of 157 sworn officers and 71 civilian support staff, resulting in a ratio of approximately 1.3 sworn officers per 1,000 population. The Department's staffing needs are evaluated based on specific service level targets.

The City's Quality of Life Standard for police protection is an initial response time of no more than 4 minutes for priority-1 calls (crimes in progress or life threatening, or both), and no more than 6 minutes for priority-2 calls (serious, but not life threatening incidents). The Department has been successful in achieving times close to those standards. Beats 46 and/or 56 will provide police protection for the Northeast Gateway.

2.4.4 Fire Protection

Fire protection for the Northeast Gateway is provided by the City of Escondido Fire Department. The Department currently has five fire stations serving the City. The station nearest the Northeast Gateway SPA is Fire Station No. 2, located at 421 North Midway Drive. Two full-time companies are now located at the Midway station. No other facilities are planned for the Northeast Gateway area of Escondido.

Homes located more than 3 miles or 5 minutes from the nearest fire station require residential sprinklering (13D system, plus one sprinkler head in the garage at the residence entrance). Station No. 2 is located approximately 1.3 miles from the intersection of East Washington Avenue and East Valley Parkway, the major access to the Northeast Gateway SPA. Residential development that may take place at the northern boundary of the SPA, immediately south of Lake Wohlford Road would be located approximately 2.25 miles from Station No. 2. Consequently, all potential homesites within the Northeast Gateway will be less than 3 miles from the Midway station.

The Northeast Gateway circulation plan establishes primary and secondary access for each residential area. Additional emergency access points may be provided by the developer of each future residential project and may be right-in/right-out secondary access roads, gated access points at the end of cul-de-sacs, or any other method of providing access subject to City standards and the review and approval of the Fire Marshal.

SPECIFIC PLAN

Minimum fire flow required by the fire department for the Northeast Gateway will be 1,500 gpm with a 20 psi residual. Fuel management criteria for the Northeast Gateway are described in Section 3.4 of Chapter 3.

2.4.5 Schools

The Northeast Gateway is located within the Escondido Union School District and the Escondido Union High School District. The Escondido Union School District provides primary education for kindergarten through grade 8. Future students from the Northeast Gateway in grades K-5 will most likely attend Orange Glen Elementary School located at 2861 Valley Parkway, approximately 0.5 miles from the site. The school has a core capacity of 810 students and currently serves approximately 742 students.

Students attending grades 6-8 will likely attend Hidden Valley Middle School at 2700 Reed Road. The school is located 1.75 miles from the Northeast Gateway and has a core capacity of 1,300 students and a current enrollment of approximately 1,222. Utilizing the District's combined student generation factor of 0.36 students per dwelling unit, and assuming 517 maximum dwelling units at buildout, the Northeast Gateway is expected ultimately to generate 186 elementary and middle school students.

The Escondido Union High School District provides schooling for students in grades 9 through 12. Future high school students from the Northeast Gateway will attend Orange Glen High School at 2200 Glenridge Road. The high school is located approximately 2 miles from the project area. The core capacity of the school is 2,070 and the current enrollment is approximately 1,962 students. The district's student generation rate of 0.20 students per dwelling unit would yield 103 high school students given a total of 517 dwelling units at buildout.

It is important to note that the City controls the allocation of 167 of the 517 potential dwelling units. Consequently, the total units constructed at buildout of the Northeast Gateway may be less than 517, correlating to fewer elementary and high school students.

The Escondido Union High School District is also currently evaluating the relocation of Valley High Continuation High School to the City owned property within PA 4 adjacent to the Ryan Park facility. Valley High School was previously located on Bear Valley Parkway and has been housing its 400 students at an interim two-acre facility behind the High School District's offices on North Midway Drive.

SPECIFIC PLAN**2.4.6 Solid Waste Disposal**

Solid waste collection within Escondido is provided by Escondido Disposal, Inc (EDI), a private residential and commercial/industrial waste disposal corporation. The City's contract with EDI expires in 2014.

Escondido Disposal provides a variety of services for both residential and commercial customers throughout Escondido, including single stream recycling which diverted approximately 888 tons of recyclable materials in 2001.

Generally, it is anticipated that future residential development within the Northeast Gateway would use the services of EDI, although the homeowners' association of any development that desires to be "private" may contract with its own hauler, subject to City regulations. For those developments that choose to utilize EDI, each residential homeowner would be responsible for his/her unit's share of the cost of the service, as determined by the City of Escondido Public Works Department.

2.4.7 Gas and Electricity

Natural gas and electricity will be provided by San Diego Gas & Electric (SDG&E), which is located in San Diego. Future development plans for the Northeast Gateway will be reviewed by the Energy Planning Department of SDG&E for needs assessment as part of the development review process. Facility sizing and service extension through the Northeast Gateway will be coordinated with SDG&E.

2.5 DRAINAGE

The Northeast Gateway SPA is located within the boundary of the East Grove subbasin of the 89 square mile Escondido Creek Drainage Basin. Topographically a valley, the Northeast Gateway accepts overland flows from the east- and west-facing hillsides, which eventually drain into the Escondido Creek flood control channel, a concrete-lined course that begins on the east side of East Valley Parkway north of Lake Wohlford Road. The Escondido Creek channel runs through the western portion of the Northeast Gateway after crossing under East Valley Parkway at Lake Wohlford Road, immediately north of the SPA.

Existing and proposed drainage systems for the Northeast Gateway SPA are described in the following sections and illustrated on Exhibit 2-6.

2.5.1 Current Conditions

The current drainage conditions within the Northeast Gateway are generally poor as a result of aging infrastructure. Natural and urban runoff from the northeast corner of the SPA drains southwest to East Valley Parkway, where a culvert previously conveyed the flow under East Valley Parkway and ultimately to the Escondido Creek channel. That culvert no longer functions; consequently, the runoff generated within PA 2 travels along the east side of East Valley Parkway, ponding in low areas, and emptying into an east-west trending streambed found just south of the border between PA 1 and PA 4. Flows from the eastern hillsides within PA 1 follow a similar route along natural drainage courses, emptying into the same streambed.

An undersized culvert under East Valley Parkway conveys some of the streambed flows from the east side of East Valley Parkway toward the Escondido Creek channel. The overcapacity spills into PA 4 where it ponds before flowing into storm drains installed in East Washington Avenue and eventually into the creek channel.

A similar situation exists along the west side of East Valley Parkway. Flows from the northern portions of the site drain in a southerly direction, ponding at low points, and eventually collecting in a wet area formed by years of such drainage at the corner of East Valley Parkway and East Washington Avenue. Runoff that does not infiltrate flows onto East Washington Avenue where it enters storm drains that convey the water into the Escondido Creek channel.

The runoff from the western hillsides is conveyed into Jacks Creek, an intermittent-stream drainage. Jacks Creek flows in a southeasterly direction off the western hillsides into PA 1a, where it turns south and continues off site into the Escondido Creek channel.

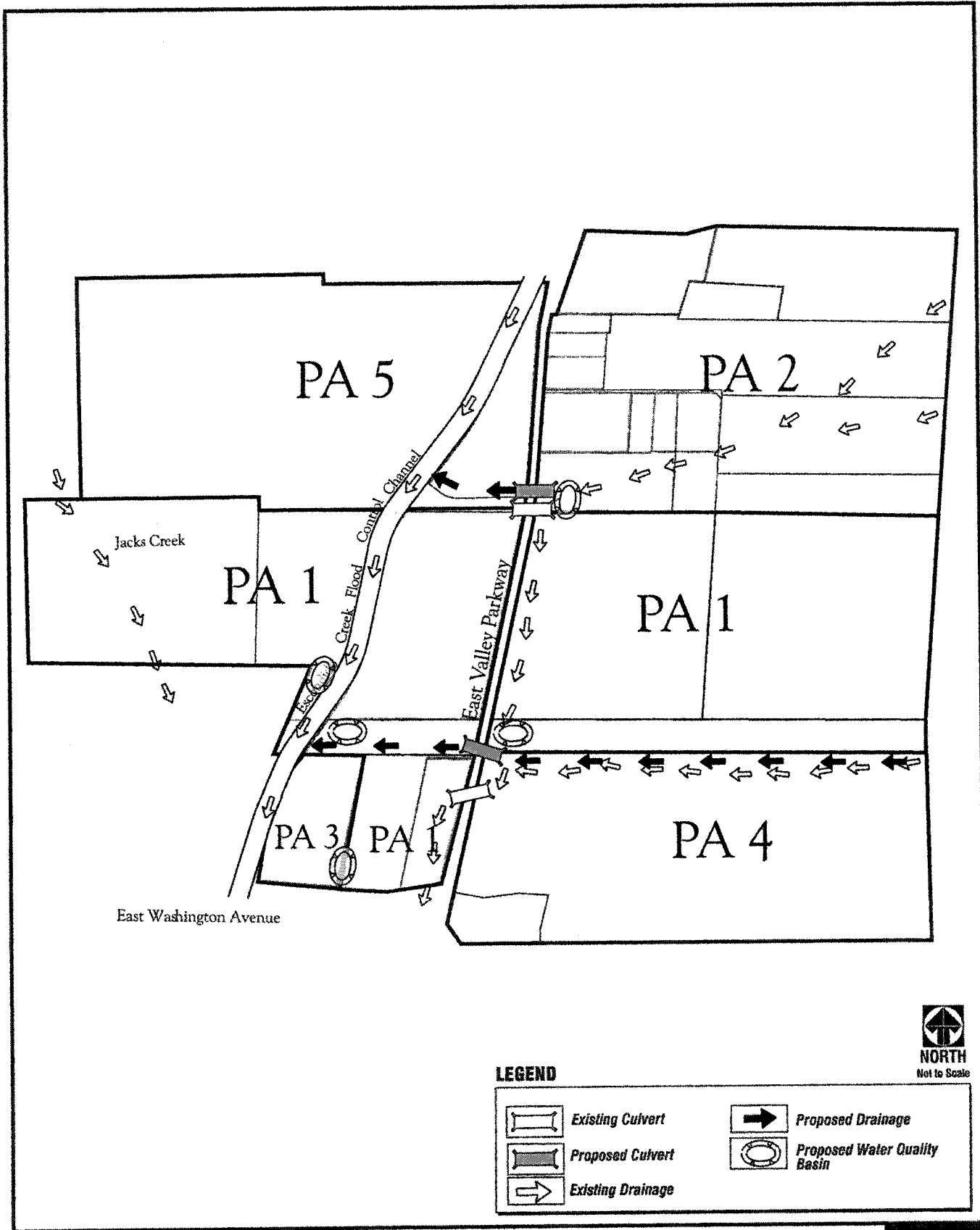
2.5.2 Proposed Improvements

The Northeast Gateway drainage plan proposes a system of water quality basins, open natural bottom drainage channels, and improved drainage crossings to collect, clean, and convey runoff from both natural and urban sources. The goal of the Northeast Gateway drainage plan is to segregate and manage runoff by source, which involves the collection and treatment of urban runoff while leaving natural runoff to drain through a system that keeps it away from urban uses and the consequent potential for contamination.

SPECIFIC PLAN

Under the proposed drainage plan, runoff from the anticipated urban uses will flow into several water quality basins, as shown on Exhibit 2-6. The size and location of the basins will be determined concurrent with each residential development, which will be responsible for its own compliance with National Pollutant Discharge Elimination Standards (NPDES) and the 2001 Regional Water Quality Control Board's (RWQCB) Order No 2001-01, pertaining to waste discharge. Exhibit 2-6 illustrates the most logical placement of the greatest number of basins anticipated to collect and treat the urban runoff at buildout of the Northeast Gateway. The basins provide an opportunity for urban pollutants suspended in rain and residential nuisance runoff to settle out prior to the flows entering the urban storm water management system, per NPDES and RWQCB requirements.

In all but one instance, the basins will collect flows generated specifically by manufactured impervious surfaces, leaving natural flows to follow through the channel drainage system described below. The exception to this is the basin located at the southwestern corner of PA 2. As described above, natural runoff from the eastern hillsides within PA 2 drain in a southwesterly direction across the flatter portion of PA 2, pooling at the low area in the southwestern corner. Given the topography of the eastern slopes, this is the most natural course for the runoff. Rather than disturb additional steep slopes and sensitive habitats, the Northeast Gateway drainage plan proposes to use the basin at the southwestern corner of PA 2 as the destination for both urban and natural run-off. Unlike the other natural runoff described below, the runoff from the eastern hillsides within



LEGEND

	Existing Culvert		Proposed Drainage
	Proposed Culvert		Proposed Water Quality Basin
	Existing Drainage		

Exhibit 2-6

**SPECIFIC PLANNING AREA 5 –
NORTHEAST GATEWAY**

EXISTING AND PROPOSED DRAINAGE

ESCONDIDO, CA

JACK HENTHORN & ASSOCIATES

SPECIFIC PLAN

PA 2 currently flows through a developed residential area, and is consequently more “urban” than “natural” when it finally ponds in the southwestern corner of the planning area.

All basins will be fenced and landscaped for aesthetic reasons in accordance with the Northeast Gateway landscape plan, Section 3.4.

Natural bottom drainage channels will convey natural runoff and the treated natural/urban runoff from the basin in PA 2 under East Valley Parkway through newly designed drainage crossings and ultimately to the Escondido Creek channel. The drainage channels are grass-lined on the bottom to provide additional filtration of particles suspended in the runoff and will be fenced and landscaped per the Northeast Gateway landscape plan (section 3.4). Final sizing of the drainage channels will be determined concurrent with the development of the tentative map for PA 1.

Jacks Creek, the natural intermittent-stream drainage described in Section 2.5.1 above will be enhanced as a natural drainage feature. Although some streambed alterations are anticipated, the final result of the improvements of Jacks Creek will be a restored and enhanced riparian habitat. In order to protect the habitat value of the Jacks Creek drainage, the area will be fenced.

2.6 AGRICULTURE

The Northeast Gateway SPA currently contains agricultural uses within Planning Areas 1 and 2. Although the residential development of PA 1 is the impetus behind the formulation of this Specific Plan, it is anticipated that the agricultural operations within PA 2 may continue into the foreseeable future.

Implementation of the Northeast Gateway Specific Plan will allow for continued agricultural uses within those areas of the SPA included in the residential land use category. Residential development adjacent to the permitted agricultural uses shall be mindful of the agricultural operation and provide adequate buffering. Regulations for agricultural uses within the residential land use areas are included in Chapter 3, Section 3.2.5.

3. DEVELOPMENT REGULATIONS AND PROCEDURES

3.1 COMMUNITY DESIGN CONCEPT

Chapter 3 provides the design standards for development within the Specific Plan Area, by which the Northeast Gateway will develop over time. Adherence to the guidelines will ensure that new development is visually and functionally integrated with pre-existing development adjacent to and within the Northeast Gateway. The guidelines provide for logical neighboring uses and intensities. For example, the guidelines permit a minimum residential lot size of 4,000 to 6,000 square feet adjacent to East Valley Parkway, Ryan Park and where off-site uses are urban (U1) or suburban (S). The smallest of the two minimums is reserved for areas which are segregated from the remainder of the residential portions of the SPA by existing improvements, such as East Valley Parkway, the Escondido Creek Channel, and existing or proposed public/non-profit non-residential use areas. Larger lot sizes, generally 10,000 square feet or greater, are required for each residential lot that abuts existing natural open space.

During final project plan review for each future development project within the residential land use areas of the SPA, the grading, site planning, landscaping and architecture will be reviewed in greater detail. For developments of adequate size or when desired by the developer of the individual residential project, covenants, conditions and restrictions (CC&R's) may be prepared in conjunction with Final Map recordation to provide more specific criteria on allowable and prohibited architectural elements.

3.2 LAND USE REGULATIONS

3.2.1 Introduction

The intent of this section is to provide a complete set of land use regulations for the three land use categories within the Northeast Gateway and shall serve as the zoning standards for the Specific Plan Area. This section is divided into two subsections. The first subsection provides definitions which apply to the entire Specific Plan Area. The second subsection describes development standards which apply to specific land use areas.

Land uses not specified in the permitted uses section of the Planning Area Land Use Regulations which are found by the Director of Planning and Building to be consistent with the intent and purpose of the specific planning area and are similar to the allowed uses of the planning area may also be allowed for any of the planning areas under a Conditional Use Permit. If the Director of Planning and Building is unable to make a determination on a specific land use not listed in the Specific Plan, a

noticed, public hearing shall be conducted by the Planning Commission. The Planning Commission's determination shall be final unless appealed to the City Council. If appealed, a noticed, public hearing shall be held by the City Council and the City Council's determination shall be final.

3.2.2 Definitions

1. *Accessory* means a use customarily incidental to a building, part of a building or structure, which is subordinate to and the use of which is incidental to and detached from the main building, structure or use of the same lot. If an accessory building is attached to the main building either by a common wall, or if the roof of the accessory building is a continuation of the roof of the main building, such accessory building shall be considered a part of the main building.
2. *Accessory use* means a use incidental and accessory to the principal use of a lot or a building located upon the same lot as the accessory use.
3. *Air rights condominiums* means a type of residential development wherein all residential units are privately owned but the legal lot on which the units are built is not subdivided but commonly owned by all of the owners within the development. Each residential unit is located within an "exclusive use area" which functions similarly to a subdivided residential lot and is reserved for the exclusive use of the owner of the associated residential unit. For the purposes of conformance with the City of Escondido General Plan, all air rights condominiums within the Northeast Gateway shall be detached, single family products.
4. *Area of lot* means the total horizontal area included within ownership lot lines.
5. *Building* means any structure for the shelter, housing or enclosure of any person, animal, article or chattel and when any portion thereof is completely separated from every other portion thereof by a division wall or fire wall, without openings, each such portion shall be a separate building.
6. *Building height* means the vertical distance measured from the average level of the highest and lowest points of that portion of the lot covered by the building to a point midway between the highest and lowest points on the roof; provided that chimneys, spires,

towers, tanks and similar projections shall not be included in the height.

7. *Exclusive use area* means the portion of an air rights development lot on which a private residence and all associated accessory structures are located. The exclusive use area functions much like a subdivided lot within a "traditional" subdivision; however, the deed to the exclusive use area does not confer ownership of the legal lot of land on which the residential unit is located. Rather, the actual legal lot is owned in common, with all members of the air rights development located on that lot having an undivided interest in it.
8. *Frontage* means that property abutting on one side of a street and lying between the two nearest intersecting or intercepting streets, or nearest intersecting and intercepting streets, and unsubdivided acreage.
9. *Home occupation* means any use customarily conducted entirely within a dwelling and carried on by the inhabitants thereof, which use is clearly incidental and secondary to the use of the structure for dwelling purposes and which use does not change the character thereof or does not adversely affect the uses permitted in the zone of which it is a part. A home occupation must satisfy the conditions set forth in Article 44 of the Escondido Zoning Code.
10. *Lot and/or legal lot* means:
 - i. A parcel of real property shown as a delineated parcel of land with a number and other designation on the final map of subdivision recorded in the office of the county recorder of San Diego County; or
 - ii. A parcel of land, the dimensions or boundaries of which are defined by a record of survey map recorded in the office of the county recorder of San Diego County in accordance with the law regulating the subdivision of land; or
 - iii. A parcel of real property not delineated as in (i) or (ii) above, and containing not less than the prescribed minimum area required in the zone in which it is located and which abuts at least one (1) public street or easement which the planning commission has designated adequate for access purposes, and is held under one undivided ownership.
11. *Lot area* means the total area measured in a horizontal plane, included within the lot lines of the lot.

SPECIFIC PLAN

12. *Lot coverage* means the total horizontal area of a lot covered by any building which extends more than 3 feet above the surface of the ground level and including any covered parking spaces. Covered patios shall not be considered as lot coverage provided that said patios are not more than 50 percent enclosed.
13. *Lot depth* means the horizontal length of a straight line connecting the bisecting points of the front and the rear lot lines.
14. *Lot width* means the horizontal distance between the side lot lines measured at right angles to the line comprising the depth of the lot at a point midway between the front and rear lot lines.
15. *Traditional residential development* means, in this Specific Plan, a common type of residential development in which each residential unit is constructed on an individual legal lot and the owner holds deed to both the residential unit and the lot on which the unit is located.
16. *Use* means the purpose of which premises or a building thereon is designed, arranged or intended, or for which it is or may be occupied or maintained.
17. *Yard* means an open space other than a court, on a lot, unoccupied and unobstructed from the ground upward.
 - i. *Front yard* means a yard extending across the full width of the lot, having at no point a depth of less than the minimum required horizontal distance between the front lot line, or its tangent, and the closest permissible location of the main building. Said distance shall be measured by a line at right angles to the front lot line, or its tangent.
 - ii. *Rear yard* means a yard extending across the full width of the lot, having at no point a depth of less than the minimum required horizontal distance as measured from the part of the main building nearest the rear lot line towards the rear lot line, and such measurement shall be along a line representing the shortest distance between said part of the main building and the rear lot line. The required rear yard shall be that portion of the rear yard contiguous to the rear lot line having at no point a depth less than that required for the rear yard. The area to the rear lot line of an interior triangular or gore-shaped lot shall be considered a part of the required rear yard.

SPECIFIC PLAN

- iii. *Side yard* means a yard between the main building and the side lot lines extending from the required front yard, or the front lot line where no front yard is required, to the rear yard, the width of which side yard shall be measured horizontally from, and at right angles to, the nearest point of a side line towards the nearest part of a main building.

3.2.3 Planning Area Land Use Regulations

The following four sections (1. through 4.) address the land use regulations for the three land use categories within the Northeast Gateway SPA: Residential, Natural Open Space, and Modified Open Space. The residential category is divided into two sections, one addressing the generally applicable traditional residential development standards and the other addressing the air rights condominium standards that will only apply to the residential land use area within Planning Area 4.

1. TRADITIONAL RESIDENTIAL (Planning Areas 1, 2, and 3)

A. DESCRIPTION

The residential land use areas of the Northeast Gateway are concentrated within the valley floor area of the SPA on either side of East Valley Parkway. The combined area of the residential land use areas is approximately 288 acres. The slope analysis for the Northeast Gateway Specific Plan yielded a maximum of 517 residential units for the entire 418 acre SPA. As discussed in Chapter 2, 167 units of the yield were derived from the publicly-held acreage within PAs 4 and 5. The residential units derived from the public lands shall be allocated to residential land use areas at the discretion of City Council.

Traditional residential development is treated separately from the air rights condominium development permitted only within PA 4 (discussed in section 3.2.3, subsection 2). As described in the Definitions, section 3.2.2, traditional residential development describes the type of development whereby each residential unit is located on a separate legal lot. The owner of the residential unit usually also holds deed to the land on which the unit is built. The owner, then, has the exclusive right to sell or subdivide the lot, pursuant to City standards and regulations.

Traditional residential development is also permitted in PA 4; however, due to the minimum lot size required by the Escondido General Plan, it is anticipated that a future development project would proceed according to the air rights standards described in section 2 and summarized on Table 3-B.

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The Northeast Gateway Specific Plan allows only single-family detached homes as new development within all residential land use areas. Minimum lot sizes for the residential land use areas shall be determined according to Exhibit 1-8b. Generally, lot size ranges adhere to the following methodology:

- **Lot sizes minimums of 5,500 square feet** may be applied *only* to PAs 1b, 1e, and 3, as these Planning areas are separated from the remainder of the residential land use areas by physical barriers and existing public improvements.
- **Lot sizes of 6,000 to 8,000 square feet** are reserved only for uses that abut existing high-intensity or urban land uses, such as Ryan Park and U1 land use areas. Lot sizes within this range may be developed in PA 1c.
- **Lot sizes of 7,000 to 10,000 sq. ft.** are intended for uses that abut neither urban/high-intensity uses nor natural open space. Lot sizes within this range may be developed in PAs 1a, 1d, and 2.
- **Lot sizes of 8,000 to 10,000 sq. ft.** are intended for residential development that abuts East Valley Parkway or the Escondido Creek channel. Lot sizes within this range may be developed in PAs 1b, 1c, 1e, 2, and 3.
- **Lot sizes 10,000 to 15,000 sq. ft.** are intended for residential development that abuts natural open space. Lot sizes within this range may be developed in PAs 1a, 1d, and 2.
- **Lot sizes of no less than 1 acre** are required for any residential development within PA 4.

Access through the residential land use areas shall be via public roads. Future development may take access from either public or private streets, depending on the subdivision type. Maintenance of private streets will be the responsibility of the homeowners' association established for the respective development. Lot development requirements for the traditional residential land uses are summarized in Table 3-A.

B. PERMITTED PRINCIPAL USES

The following principal uses and structures are permitted in the traditional residential land use areas of the Northeast Gateway:

1. Single-family dwellings, detached
2. Orchards, groves, and vineyards

C. PERMITTED ACCESSORY USES AND STRUCTURES

Accessory uses and structures are permitted in the residential land use areas provided they are incidental to, and do not substantially alter the character of the principal residential use. Such permitted accessory uses and structures include, but are not limited to the following:

1. Accessory buildings such as garages, lath houses, green houses, garden sheds, recreation rooms and similar structures which are customarily used in conjunction with and incidental to the principal residential use;
2. Swimming pools constructed in accordance with the provisions of Section 33-1109 of the Escondido Zoning Code;
3. Vegetable and flower gardens;
4. Home occupations, subject to the regulations of Article 44 of the Escondido Zoning Code;
5. Storage of materials used for the construction of a building, including the contractor's temporary office, provided that such use is on the building site or immediately adjacent thereto, and provided further, that such use shall be permitted only during the construction period and the 30 days thereafter;
6. Household pets in accordance with subsection J of this section;
7. Subdivisions sales and signs in accordance with subsection L of this section;
8. Satellite dish antennas in conformance with Article 34 of the Escondido Zoning Code;
9. Bus stop shelters

**Table 3-A
Residential Lot Requirements***

Minimum Lot Area (Sq. Ft.)	5,500	6,000	7,000	8,000	9,000	10,000	12,000	15,000
Minimum Lot Width	55 feet	55 feet	55 feet	65 feet	65 feet	70 feet	80 feet	90 feet
Lot Frontage		20' minimum						
Panhandle Lots		Body of the lot must meet lot area and width requirements; handle width minimum: 20'; length maximum: 135'; minimum public street frontage: 20'						
Yards	Front	Lots less than 8,000 s.f.: 10' minimum. Lots 8,000 s.f. and greater: 15' minimum						
	Side	5' minimum to house; 10' minimum between houses for lots less than 8,000 s.f.; 15' minimum between houses for lots ranging from 8,000 to 10,000 s.f.; 20' minimum between houses for lots greater than 10,000 s.f.						
	Side: Corner Lots	Side contiguous to street: minimum 10'						
	Rear	20' minimum to house; no habitable structures within setback						
Building Height	Single Story	24' maximum						
	Multi-Story	35' maximum						
Distance between buildings		10' minimum						
Lot Coverage		40% maximum						
Projections	front yard	6' maximum						
	rear yard	2' maximum, but not closer than 3' to the property line						
Accessory buildings	front yard	not allowed						
	side yard	Allowed, must be setback 5'. Not allowed in side yards which are contiguous to a street.						
	rear yard	Allowed, must be setback 5'						
Population Density		Only one residential unit per residential lot						

* See Section 3.6.4 "Development Standards" for details regarding these requirements.

D. CONDITIONAL USES AND STRUCTURES

The following uses and structures are permitted in the residential land use areas only if a conditional use permit has first been issued, and subject to the terms thereof:

1. Institutional uses including, but not limited to day care, pre-kindergarten education (nursery school), and convalescent facilities.
2. Satellite dish antennas pursuant to Article 34 of the Escondido Zoning Code which:
 - a. Are roof-mounted;
 - b. Exceed 12 feet in diameter; or
 - c. Are ground- or pole-mounted and exceed 15 feet above grade adjacent to the base or pole support.
3. Electricity regulating stations
4. Gas pressure control stations
5. Water storage as part of a utility system (uncovered or covered)
6. Pets in excess of those permitted by subsection J of this chapter

E. PARCEL REQUIREMENTS

1. LOT AREA – Lot area ranges for traditional residential development within the Northeast Gateway SPA are illustrated on Exhibit 1-8b.

The area of any future residential lot may exceed the upper limit of the respective range; however, the lot area shall not be less than the lower limit provided.

2. LOT WIDTH – See Table 3-A for minimum lot widths.
3. LOT FRONTAGE - With the exception of panhandle lots, all residential lots abutting a public street shall have a frontage of not less than 35 feet, on a line parallel to the centerline of the street or on a cul-de-sac improved to city standards.

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4. **PANHANDLE LOTS** - Panhandle lots may be created if all of the following requirements are met:
 - a. The body of the lot meets the lot area and lot width requirements;
 - b. The handle portion of the lot is at least 20 feet in width and not more than 135 feet in length;
 - c. The lot has at least 20 feet of frontage on a public street.

5. **POPULATION DENSITY** - Not more than one single-family dwelling may be placed on any residential lot.

F. YARD REQUIREMENTS

1. **FRONT YARD** – For lots less than 8,000 square feet-10 feet minimum to habitable portion of structure. For lots 8,000 square feet and greater-15 feet minimum to habitable portion of structure.

A required front yard shall not be used for vehicle parking except such portion as is devoted to driveway use. No trailer, travel trailer, camper or boat may be stored or parked in a required front yard for any period exceeding 24 hours.

2. **SIDE YARD** – 5 feet minimum to house. 10 feet minimum (combined side yards) between houses for lots under 8,000 square feet. 15 feet minimum (combined side yards) between houses for lots ranging from 8,000 to 10,000 square feet. 20 feet minimum (combined side yards) between houses for lots greater than 10,000 square feet-.

On corner lots, the side yard which is contiguous to the street shall not be less than 10 feet in width, except that a garage having access which is perpendicular to the street shall be set back at least 20 feet from the street property line. A required side yard shall not be used for vehicle parking except such portion as is devoted to driveway use.

3. REAR YARD – 20 feet minimum to house, no habitable structures within the rear yard.
4. PROJECTIONS - See Section 3.6.4 “Development Standards.”

G. BUILDING REQUIREMENTS

1. BUILDING HEIGHT - No residential lot shall have a building or structure in excess of 35 feet in height. Single story residential units shall not exceed 24 feet in height.
2. DISTANCE BETWEEN BUILDINGS - The distance between a detached accessory building and a dwelling unit shall be 10 feet minimum.
3. LOT COVERAGE - All buildings, including accessory buildings and structures, shall cover not more than 40 percent of the area of the residential lot.

H. PARKING REQUIREMENTS

Each residential lot shall have on the same lot an enclosed structure suitable for providing automobile shelter with space for at least two automobiles for each dwelling unit. Three-car garages may include tandem spaces. All garage doors shall be supplied with automatic garage door openers. Third parking spaces shall not be counted as part of required parking.

I. LANDSCAPING

See Section 3.4 “Landscape Concept”, and Section 3.5 “Landscape Standards”.

J. ANIMAL REGULATIONS

The keeping of animals is regulated by Article 57, Section 33-1116 of the City of Escondido Zoning Ordinance, per its regulations for R-1 zones.

K. AGRICULTURE

Although it is anticipated that the Northeast Gateway will be developed as a residential community, the Specific Plan does not anticipate the phasing of future residential development beyond the initial improvement of facilities and development of PA 1. The remaining lands within the Northeast Gateway that currently function as agricultural operations may continue to do so in accordance with the following:

1. PERMITTED AGRICULTURAL USES:

- a. Field and seed crops
- b. Truck crops (includes vegetables, berries, melons)
- c. Orchards and vineyards (fruits and tree nuts)
- d. Horticultural specialties

2. PERMITTED ACCESSORY STRUCTURES:

- a. Stands for the purpose of displaying and selling agricultural or farming products produced on the premises, provided that there shall be not more than one stand per lot or parcel of land. The ground coverage of the stand shall not exceed three hundred (300) square feet, and it shall be set back from the street or highway right-of-way line a distance of at least twenty (20) feet. Such stand must be of good frame construction;
- b. Windmills, silos, tank houses, buildings or shelters for farm equipment and machinery, water wells, water reservoirs and storage tanks;
- c. Accessory buildings or structures required for the housing, nurture or storage of crops, products, equipment or uses lawfully permitted or produced on the premises;

- d. Agricultural signs, either wall or freestanding types, and non-illuminated only to identify the premises as being associated with a trade organization, or as producing products under registered trade names, or to identify the business name and agricultural products grown on the premises. Such signs shall not exceed 16 square feet. One sign per street frontage is allowed with a maximum of two signs. Wall signs shall be located below the roofline. Freestanding signs shall not be higher than 6 feet, and if higher than 3 feet, shall not be located within 25 feet of any property line abutting a public street.

3. NON-CONFORMING AGRICULTURAL USES:

An agricultural use that does not conform to the uses permitted in paragraph 1 above, but that was lawfully operating on a residential parcel within the Northeast Gateway prior to the adoption of this Specific Plan shall be treated as a non-conforming use. The operation may continue to function at its current capacity, but may not expand.

- a. Expansion shall constitute the following:
 1. Any increase in production as a result of a net increase of dedicated acreage or head of livestock.
 2. The improvement of processing and storage buildings to accommodate the increased yield.
- b. The following activities are permitted improvements that do not constitute an expansion:
 1. Structural repair to existing storage and/or processing structures for reasons of safety;

2. The repair and maintenance of machinery used in conjunction with the agricultural operation; and
 3. Structural repair of stands as defined in paragraph 2, above.
- c. A non-conforming agricultural use may conform to section K by converting to one of the uses included under "Permitted Agricultural Uses," above.

4. **ADJACENT RESIDENTIAL DEVELOPMENT**

Future residential development adjacent to an existing agricultural operation as defined in this section must be sensitive to the pre-existing and permitted agricultural use. Particularly, the following standards and practices shall be observed:

- a. Future residential lots abutting the existing agricultural operation shall incorporate increased yard setbacks on those sides sharing a property line with the agricultural operation.
- b. Enhanced landscaping and/or privacy walls shall be incorporated as an additional buffer and noise attenuation measure.
- c. Prior to the close of escrow of individual residential lots abutting the existing agricultural operation, all future property owners shall receive adequate written notice of the adjacent land use. The disclosure statement shall include at a minimum:
 1. Type of agricultural use (grove, orchard, field crops, etc.) and products produced;
 2. Days and hours of operation;

3. Information regarding noise, dust, and chemicals generated or used by the agricultural operation; and
4. Any other issue specific to the agricultural operation that may be perceived by the developer as potentially conflicting with the intended atmosphere of the residential development.

L. OTHER REQUIREMENTS

1. **SIGNS** – In addition to those signs permitted in subsection K, the following signs shall also be allowed:
 - a. **Permanent Residential Identification Sign** – Each residential lot shall be allowed one permanent residential identification sign. The sign may identify the address and/or occupant of the property. The sign shall have an aggregate area that does not exceed two square feet and may be illuminated.
 - b. **Contractor or Construction Signs** - For each future residential development, one freestanding sign shall be allowed on the construction site for all contractors (may include financial institutions, real estate agents, subcontractors, etc.). The sign area may not exceed 50 square feet and the overall height shall not exceed 15 feet. Such sign shall be removed by the contractor(s) upon granting of occupancy by the city.
 - c. **Real Estate Signs for Single Residential Rental and Sales**- One on-site sign per street frontage, up to two signs total, not exceeding four square feet in area each, provided it is unlit and is removed within 15 calendar days after the close of escrow or the rental or lease has been accomplished.

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- d. On-site Subdivision Signs - On-site subdivision signs shall be allowed as described by Section 33-1396(b) of the Escondido Zoning Code.
 - e. Real Estate Kiosk Signs - Real estate kiosk signs may be allowed within the Specific Plan Area and the future residential development projects may be included on city kiosks outside the Specific Plan area provided they meet the requirements specified in Section 33-1396(c) of the Escondido Zoning Code.
 - f. Temporary Real Estate Directional Signs - Future residential developments may request temporary real estate directional signs based on the requirements stated in Section 33-1396(d) of the Escondido Zoning Code.
 - g. Northeast Gateway Community Signs - One community entry sign shall be allowed at each main road entrance to the future subdivisions. The freestanding monument signs shall have a maximum height of 6 feet and not exceed 60 square feet in total sign area. The maximum height of the letters and logo shall be 18 inches.
2. SUBDIVISION SALES COMPLEX - One subdivision sales complex may be temporarily located within each future residential development where the total number of units for sale exceeds 15. The sales complex may include a sales office and/or up to four model homes with temporary parking area, subject to the following conditions:
- a. No transaction involving a property outside the limits of the Northeast Gateway Specific Plan Area may be conducted at such sales office;

- b. Such subdivision sales office/complex shall not be operated or maintained for a period exceeding 18 months, or until all the lots in the subdivision have been sold, whichever occurs first. The Director of Planning and Building may, for good cause, grant extensions of said period in increments of one year; and
- c. Temporary real estate sales signs are regulated by K.1, above.

2. AIR RIGHTS CONDOMINIUM RESIDENTIAL

As described in section 1.4.4, the Escondido General Plan requires a minimum lot size of one acre for all development within PA 4. However, in the interests of providing equitable use of the residential portions of PA 4, the City of Escondido has authorized the development of detached, single family “air rights condominiums” only within the residential portion of PA 4. Air rights condominiums provide for the development of privately-owned residential units located within “exclusive use areas” that are in turn located within one legal lot in which all residential owners share an undivided interest.

Development standards for air rights condominium projects in PA 4 are contained in Table 3-B. Many of the specific standards such as building heights and setbacks remain to be determined by review of the final project plan by the staff, Planning Commission, and City Council, and based upon the particular characteristics of the proposed project design.

Table 3-B Air Rights Condominium Standards

Density	To be determined by City Council upon review and approval of a density transfer agreement and subject to limitations of the City’s ability to transfer based upon prior density transfer agreements or density limitations of the General Plan.
Public Streets	Must comply with applicable City engineering standards.
Private Streets	Must maintain minimum width of 24’ or as approved by the Fire Marshall.
Community Open Space	Specific standards shall be determined by discretionary review of the final project plan by the Planning Commission and City Council, and

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Private Open Space	final project plan by the Planning Commission and City Council, and based upon the particular characteristic of the proposed project design.
Building Height	
Setbacks	
Parking	
Common Amenities	

3. NATURAL OPEN SPACE

A. DESCRIPTION

The natural open space land use areas comprise all slopes of 25% grade or greater. These areas are found along the eastern and western boundaries of PA 1, the eastern portion of PA 2, the eastern and southern boundaries of PA 4, and nearly all of PA 5, totaling approximately 119 acres or about 29% of the Northeast Gateway.

The natural open space land use areas contain the vast majority of the sensitive habitats onsite, including coastal sage scrub, southern willow scrub, coast live and Englemann oak woodlands, and chaparral. Transfer of residential density from these slopes to the residential land use areas has resulted in the permanent preservation of the slopes and their habitats.

Regional connector rural trail "R6," as described in the City of Escondido's Master Plan for Parks, Trails, and Open Space, will be constructed within the natural open space area located along the eastern side of the SPA. The trailhead for the Daley Ranch preserve will be constructed within the natural open space area of PA 5.

B. PERMITTED PRINCIPAL USES

The natural open space land use areas shall be generally maintained as biological open space preserves in addition to the following permitted uses:

1. Public trails (specifically, Northeast Gateway Trail, R6)
2. Habitat conservation and restoration
3. Landbanks, mitigation sites, and conservation preserves.
4. Fire suppression maintenance
5. Maintenance of drainage facilities
6. Extension of utilities

C. PERMITTED ACCESSORY USES AND STRUCTURES

Permitted accessory uses allowed within the natural open space areas shall include those structures generally associated with the above permitted uses, including but not limited to the following:

1. Information and interpretive centers
2. Maintenance facilities
3. Rest rooms

D. PARCEL REQUIREMENTS

No development shall be permitted within the Natural Open Space designated lands within the Northeast Gateway. All development potential has been transferred to the flatter portions of the site. The areas designated as Natural Open Space shall be dedicated to the City or another agency through permanent biological open space easements in conjunction with the first phase of the development of the Northeast Gateway.

E. SIGNS

The use of signs within the Natural Open Space land use areas shall be restricted to signs that provide directional information regarding the trail and other information and warnings regarding sensitive habitats and trail conditions. Sign area shall not be more than six square feet and shall be colored to blend with the natural environment.

4. MODIFIED OPEN SPACE

A. DESCRIPTION

Modified open space areas within the Northeast Gateway are those areas that will be developed to incorporate improvements for organized sports or maintained to provide areas for passive recreation. The modified open space land use category includes the 59 developable acres (less than 25% slope) of Ryan Community Park (including the proposed continuation high school site) within PA 4, and the 1.25-acre Dog Park, within PA 5.

Ryan Park is a city-initiated and maintained public recreational facility planned to include six lighted soccer fields, three lighted baseball fiends, lighted multi-purpose courts, a playground, and concession stands. The Dog Park recreational area is a lighted field for off-leash recreation for dog-owning residents of Escondido.

In addition, PA 5 contains 37 acres of otherwise developable publicly-owned land that may either be preserved as open space or leased to a non-profit agency or agencies. For this reason, the developable acreage of PA 5 shall be considered modified open space, bringing the total acreage within this land use category to approximately 96 acres or 23% of the Northeast Gateway SPA.

B. PERMITTED PRINCIPAL USES

Future improvements may include any of the following:

1. Animal facilities, including equestrian centers and stables.
2. Group or organized camps.
3. Park-and-Ride facilities.
4. Public preschool, elementary and secondary schools (Article 57)
5. Public recreational uses including but not limited to parks; playgrounds and athletic areas; sports activities; camping areas; picnicking areas; swimming areas; boating areas; fishing activities and related services; fairgrounds; historic/prehistoric and other cultural sites; trails for non-motorized uses; community gardens; band shells and stages.
6. Public utilities and utility easements.
7. Radio and television transmitting stations and towers.
8. Retreat centers.

C. PERMITTED ACCESSORY USES AND STRUCTURES

1. Concession stands.
2. Greenhouses and lath houses (providing they do not cover more than ten (10) percent of the subject lot).
3. Information and interpretive centers.

4. Maintenance facilities.
5. Parking lots.
6. Residences for resident managers or caretakers and their families.
7. Rest rooms.
8. Satellite dish antennas (Escondido Zoning Code Article 34, CUP required for some sizes and heights)

D. PARCEL REQUIREMENTS

Notwithstanding City Council action to the contrary, no subdivision or residential development shall be permitted on public lands designated as modified open space, with the exception of providing a residence for a resident manager or caretaker in accordance with subsection C, item 6 above.

E. OTHER REQUIREMENTS

1. Hours of operation:
 - a. Facilities that will not have electric lighting shall open no earlier than sunrise and close at dusk.
 - b. Lighted facilities shall open no earlier than sunrise. All lights shall be shut off by 9pm.
2. Signs - The following signs shall be permitted within the Modified Open Space land use areas:
 - a. Identification monument signs indicating the name and ownership of the facility.
 - i. The freestanding monument signs shall have a maximum height of 6 feet and not exceed 100 square feet in total sign area. The maximum height of the letters and logo shall be 24 inches.
 - ii. The sign may be lighted for facilities whose operating hours extend after sunset.

- iii. All facilities owned and operated by the City shall include on the sign indication of such ownership.
- b. Signs that provide directional information regarding parking, hours of operation, safety requirements and city policies regarding the use of the facilities. Sign area shall not be more than ten square feet.

3.3 GRADING

All grading within the Northeast Gateway shall comply with the Escondido Grading and Erosion Control Ordinance as contained in Chapter 33, Article 55 of the Escondido Zoning Code.

Concurrent with the submittal of final project plans and other construction-level plans, each future residential project will submit to the City for review and approval a detailed grading plan.

Depending upon future site-specific soils and geologic investigations, remedial grading may be required. Geotechnical issues requiring remediation may include slope instability, settlement, and seismic conditions. A geotechnical report shall be submitted with grading permit applications, and will describe what remedial grading, if any, will be performed.

3.3.1 Grading Guidelines

Escondido Zoning Code Article 55, Grading and Erosion Control Ordinance, provides design guidelines for the preparation of grading designs for private development projects that meet NPDES requirements. The Grading and Erosion Control Ordinance was developed to strengthen municipal standards relating to the discharge of pollutants into the City's storm drain system.

3.3.2 Grading Ordinance Exemptions

Grading activities that do not conform to or exceed the provisions of the Grading Ordinance must seek Grading Ordinance Exemptions from the City of Escondido Engineering Department, per City policy.

A grading exemptions map shall be prepared for City review and submitted concurrent with all other improvement plans for the respective project.

3.4 LANDSCAPE CONCEPT

3.4.1 Introduction

The goal of the Northeast Gateway landscape plan is to provide for visual consistency that will integrate future residential developments with pre-existing residential and public development, aid in the transition from residential development to open space, and provide visual buffering along East Valley Parkway and East Washington Avenue. The Northeast Gateway landscape plan provides an overall framework for the design of public and quasi-public spaces that will contribute to a sense of community within the SPA as a whole and reflect the rural, agricultural heritage of the area.

Generally, there are five components to the Northeast Gateway landscape plan, which together maintain the intended atmosphere. The first three components, streetscapes, edges, and entries, establish the feel of the built environment. The two remaining components, slopes and open space, manage the interface between the built and natural environment.

The Northeast Gateway Specific Plan serves as an overall guidance document for the eventual development of the entire Northeast Gateway SPA, and, to the greatest extent possible, provides flexibility for future developers to meet market demand while providing a product that is easily integrated with the previous development efforts within the SPA. The Northeast Gateway landscape plan furthers this purpose by offering flexible guidance through the provision of plant lists and examples of landscaping and street sections. The intent is to assist developers with providing for the enhancement of the atmosphere of the Northeast Gateway while still providing a viable product.

Specific Objectives

The specific design objectives developed for the Northeast Gateway landscape plan are:

1. Preserve and enhance the residential atmosphere of the valley section of the Northeast Gateway.
2. Conserve the steep slopes and sensitive habitats found on them.
3. Provide a transition from urban land use patterns to a residential, community land use pattern.
4. Buffer residential development from East Valley Parkway while providing a pleasant view corridor for motorists.

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5. Provide for safe pedestrian circulation through the Northeast Gateway.
6. Create a sense of place which reflects the rural, agricultural heritage of the area.

3.4.2 Concept, Selection Criteria, and Design Standards**1. General Landscape Concepts**

The following landscape concepts are intended to define the character of the Northeast Gateway area.

1. Landscape planting must create an overall unity, while allowing diversity to create distinct differences between places within the community. This will be achieved by establishing a planting design in which basic elements are repeated in an orderly way, while the elements vary to respond to particular situations.
2. It is important that the scale of the landscape reflects the scale of the area it is intended to enhance. For example, major streets and entries that will be viewed primarily from automobiles will require a landscape treatment that is grander in scale and texture than areas intended solely for pedestrians.
3. Throughout the community, landscape elements including trees and shrubs, as well as man-made elements such as walls, monuments, street furnishings and light fixtures, will be arranged in regular patterns that establish an order and geometry. The historical precedent for this occurs in the street tree plantings of the early century, the orderliness of the citrus groves, and the rows of windbreaks commonly used in agricultural districts to protect crops.

To preserve and reflect the rural, agricultural heritage of the area and create a sense of place which reflects this heritage, the uniform row appearance of the existing citrus groves will be reflected in the landscaping along East Valley Parkway, the main thoroughfare of the area. Also, monuments which commemorate the agricultural heritage of the area will be placed at the Primary Theme Street entrances and in the parks to preserve the agricultural heritage of the area.

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Generally, street tree plantings will feature regularly spaced trees, and the same tree will be used consistently the entire length of the street. Informal masses of trees will only occur in designated areas such as the East Valley Parkway landscape, in public and private parks, and in the transition zones to the Hillside Open Space areas of the community.

4. The plant palette defined for the Northeast Gateway emphasizes plants which will have a positive visual impact and are well adapted to the Specific Plan area. Many of the recommended plants are typical of Southern California rural areas and emphasize or imitate the special qualities of plants that grow in the natural hillsides of the region. The majority of the recommended plants are consistent with the City of Escondido's Approved Planting List.
5. To create the illusion of greater depth in narrow spaces throughout the Community, and to provide further visual interest and variety, the landscape will be planted in layers. Layers will be expressed vertically by varying the heights of plant material and other landscape elements; layers will be expressed horizontally by establishing several distinct planting areas with consistent setback relationships.
6. To create diversity, landscape planting designs will often rely on contrasting one plant material with another. The types of contrast will include form, texture, and color.
7. To maintain the intended community atmosphere and cohesive appearance of the SPA, and to blend with the surrounding hillsides, a limited selection of flowering trees, shrubs and ground covers has been established. The preferred colors for flowering plants will be whites, blues, yellows, oranges and purples.

2. Plant Material Selection and Use

This section establishes the rationale that serves as the basis for the plant palette.

Basic Selection Criteria

The desirable attributes of plants to be used in the Specific Plan area include:

- Drought tolerance;
- Reasonably low in maintenance;

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- Relatively free from disease and pest infestation;
- Outstanding in some characteristic, such as form, color, texture;
- Evocative of natural character;
- Not exotic in appearance;
- Moderate or fast in growth; and,
- Suitable for use around people.

The intent is to establish an overall appearance that is recognizably agricultural Southern California in appearance.

There is virtually no list of plants that could be developed that would completely satisfy all of these conditions. However, the intent is to provide a list from which plants can be selected that will provide the best choice to respond to the needs of different uses or functions in the Specific Plan area, as well as the flexibility to be used in a variety of different situations.

The information in this section is supplemented by a detailed plant palette in Section 3.5 Landscape Standards, which contains a list of plants recommended for use in the Specific Plan area.

Tree Selection and Use Criteria

Trees will be the backbone material of the planting design because of the size and widespread presence of the street rights-of-way and setback areas. The following describes the different types of tree forms that will be used throughout the Specific Plan area, and the criteria that will be used to determine how they will be located.

Small Canopy Trees: Small canopy trees are intended for use where it is desirable to create a more intimate scale, where a contrast with a larger tree will help reinforce the layered landscape concept, or to contrast with a tree of a distinctly different form. On wide streets where the separation between trees from one side of the street to another is thirty feet or greater, small canopy trees should always be combined with medium or large canopy trees.

Medium Canopy Trees: Medium canopy trees may serve the same purposes as either the large or small canopy trees.

Large Canopy Trees: Large canopy trees will be used on arterial roads to help reinforce the grand scale of the community. They are intended to be large scale elements that create a strong, positive visual impact.

SPECIFIC PLAN

Vertical Trees: When the primary purpose is screening, vertical trees will be evergreen and will be spaced evenly so that when mature, they will form a dense visual barrier. Vertical trees will generally be used in combination with canopy trees, especially in areas with pedestrians, who will need the canopy trees for shade. They are also useful in narrow setback areas or as a taller layer behind other trees.

Shrub, Vine and Groundcover Selection and Use Criteria

Shrubs: Shrubs serve several main design purposes such as screening views, providing physical barriers, and introducing an intermediate to low layer within the layered landscape.

To create a stronger impact, shrubs will be planted in large masses. They may appear as loose or unclipped, or clipped hedges of consistent height. As the intent of the design is to provide a naturalistic appearance, clipped hedges should only be associated directly with the private areas of the residences, and should not occur in the common landscape.

Vines: Vines will be used to cover walls and buildings, climb onto arbors and trellises, and as sprawling ground cover.

3. Layered Landscape Design Criteria

The width of the setback affects the creation of the layered landscape. In order to create a layered landscape, there needs to be at least two horizontal or vertical layers of landscape. In narrow setbacks (10-20 feet wide), the selection of plant material is likely to be different from that for wider setbacks. Wider setbacks permit the use of a larger canopy or pyramidal shaped tree, or would allow more than three tree layers.

The streetscape sections provide information for the types of trees, number of layers, and spacing for each type of street within the community. Refer to Section 3.4.3, Streetscapes, for size and numbers of trees required.

3.4.3 Streetscapes

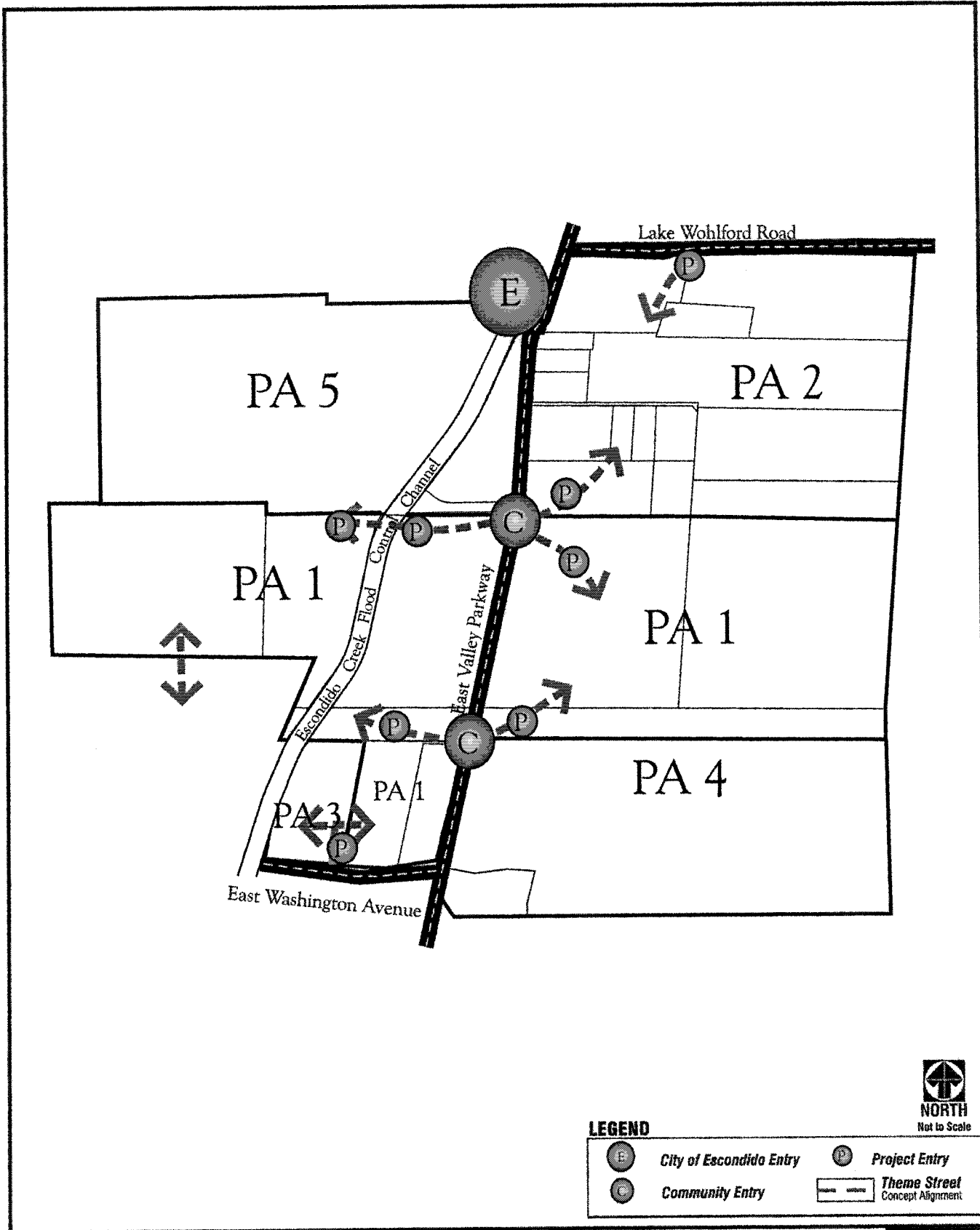
A prominent landscape component of the project is the streetscape or street "scene". The purpose of streetscape guidelines is to establish criteria and elements fundamental to the landscape design adjacent to and within the public rights of way. Adherence to the streetscape design

SPECIFIC PLAN

concepts is extremely important in creating the Northeast Gateway's identity.

The street scene is composed of the buildings, structures, street improvements, adjacent view/vistas, signage, landscaping and street furnishings visible from the roadway. Building massing, articulation of structures, setbacks and the arrangements of street furnishings are discussed in other sections of these guidelines.

All landscape improvements within the street right-of-way must comply with the standards established by the City of Escondido.



LEGEND

	City of Escondido Entry		Project Entry
	Community Entry		Theme Street Concept Alignment

Exhibit 3-1

**SPECIFIC PLANNING AREA 5 –
NORTHEAST GATEWAY**

STREETSCAPES AND ENTRANCES

1. East Valley Parkway and East Washington Avenue

East Valley Parkway is the main north-south street within the Northeast Gateway. Most visitors and residents will experience the community initially from this connector, giving it an important role in creating and enhancing the identity of the area. Refer to Exhibit 3-2a for the East Valley Parkway street section.

Along the entire length of East Valley Parkway through this community, the landscape treatment was created with the intent of unifying the street and creating a sense of place that reflects the rural, agricultural heritage of the area. The proposed treatment consists of a double row of consistently spaced flowering accent pear trees with larger canopy trees naturally grouped in the background, as illustrated in Exhibit 3-9. This landscape treatment will reflect the uniform row appearance of the area's existing citrus groves. The varying setbacks along the Planning Area 1 boundaries, ranging from 30 to 100 feet in depth with an average setback of 45 feet, allow for this treatment, while narrower setbacks in Planning Area 2 and in front of the Continuation High School will only allow the initial double row of flowering accent pear trees.

In Planning Area 2, an interim condition may exist, allowing driveways to interrupt the double row of flowering accent trees, in order to maintain access to private property adjacent to East Valley Parkway. However, in the proposed ultimate build out condition, these driveways would be eliminated, and the trees would continue un-interrupted the entire length.

An additional layering of shrub and groundcover material will occur along the entire length to provide interest and contrast with the trees. For aesthetic, water conservation and maintenance purposes, it is anticipated that no turfgrass will occur in this planting area.

Pedestrians will be separated from vehicular traffic by the double row of trees, and will follow a meandering sidewalk in the wider setback areas.

East Washington Avenue will incorporate a similar setback along the northern side of the road that forms the southern boundary of the SPA. The species and plant massings incorporated in the East Washington Avenue setback will serve to provide visual continuity for the public road edges of the Northeast Gateway. However, as it

SPECIFIC PLAN

occurs along the boundary of the Northeast Gateway, East Washington Avenue is a less-intense public road than East Valley Parkway. Consequently, the East Washington Avenue setback will adhere to the 20-foot minimum depth required by the Escondido General Plan and may not be expected to vary as widely as the East Valley Parkway setback. As appropriate given sight-distance requirements at intersections and other public safety concerns, the East Washington Avenue may exceed 20 feet in depth at any point, but at no point will the depth of the landscape improvement be less than 20 feet.

A portion of Urban Trail #8, Northeast Ring (El Norte) will be incorporated as a sidewalk at the curb of East Washington Avenue. The Northeast Ring urban trail will connect to the meandering sidewalks within the East Valley Parkway setback and provide pedestrian access from East Washington Avenue to the public and anticipated non-profit facilities within and north of the Northeast Gateway SPA.

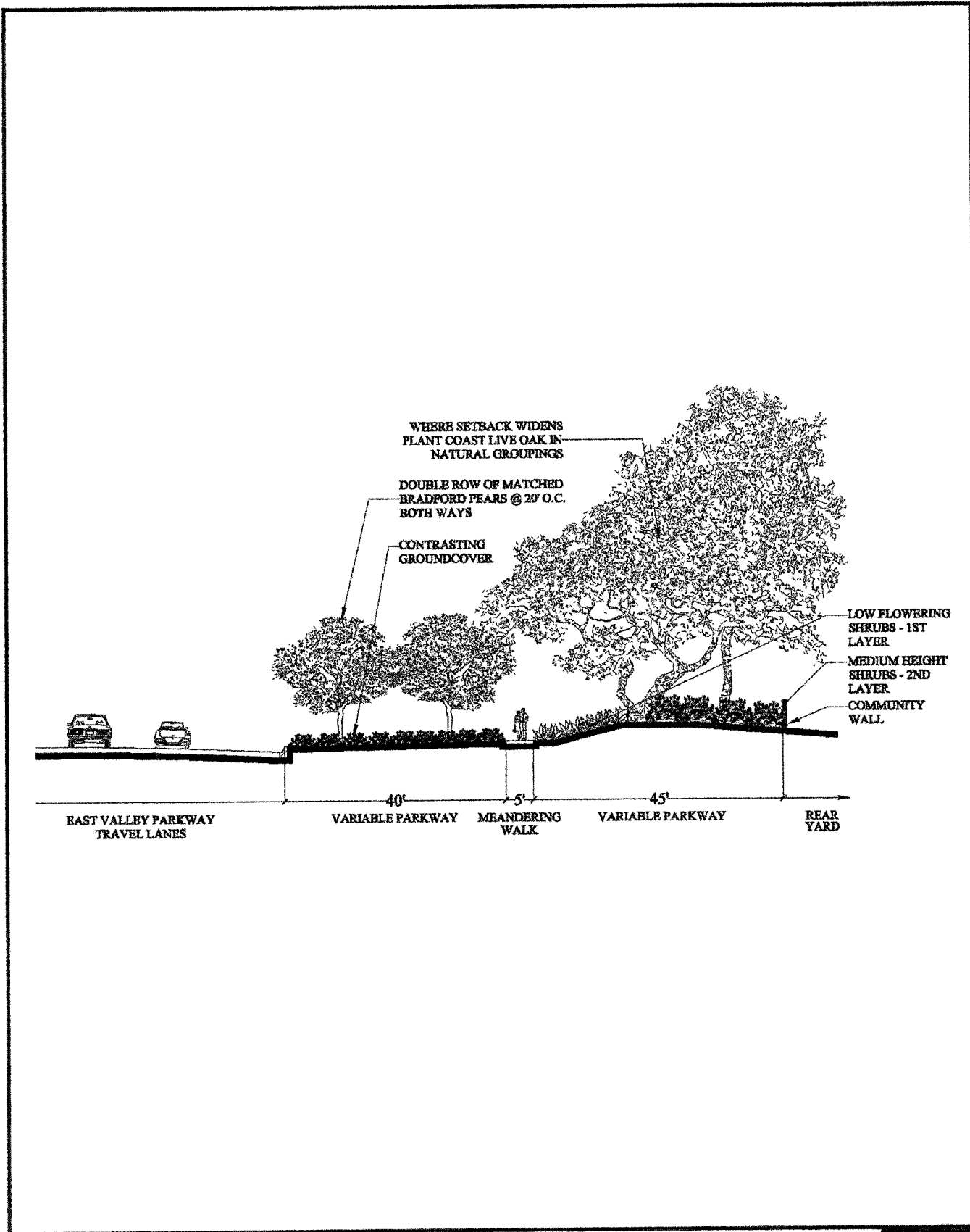


Exhibit 3-2a

**SPECIFIC PLANNING AREA 5 –
NORTHEAST GATEWAY**

ESCONDIDO, CA

EAST VALLEY PARKWAY

JACK HENTHORN & ASSOCIATES

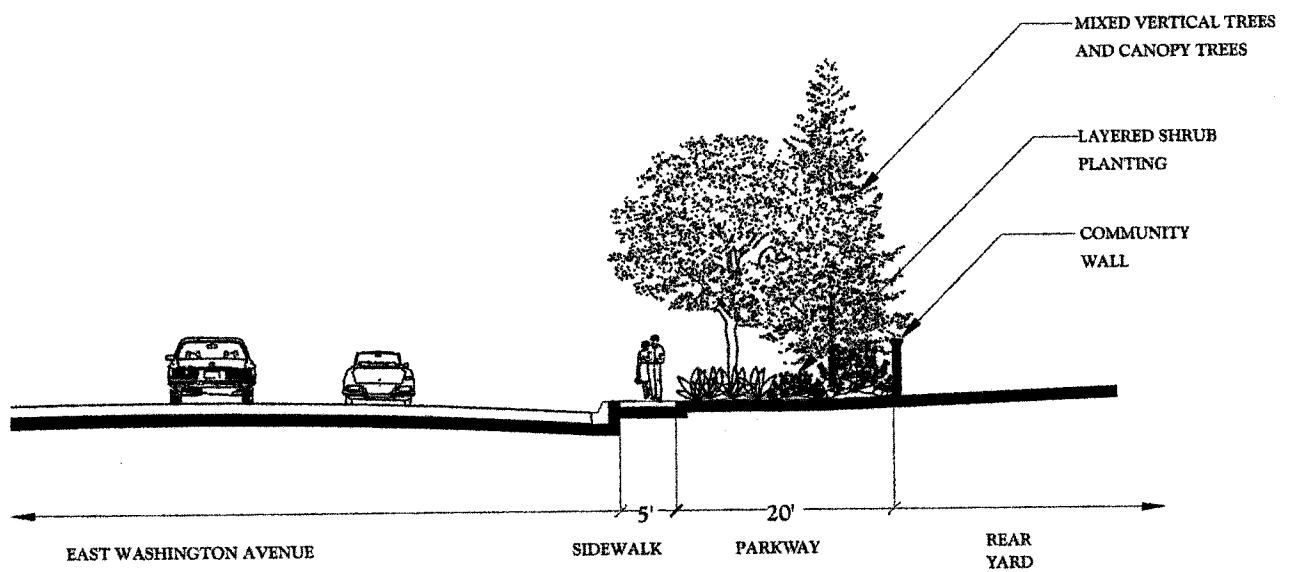


Exhibit 3-2b

SPECIFIC PLANNING AREA 5 –
NORTHEAST GATEWAY

EAST WASHINGTON AVENUE

ESCONDIDO, CA

JACK HENTHORN & ASSOCIATES

SPECIFIC PLAN**2. Primary Entry Theme Streets**

Along with the Community Gateways, the Primary Entry Theme Streets are intended to introduce and carry the theme and character of the community. The intent is to:

- Identify the community entrance locations; and,
- Visually change the scale of the landscape to a more intimate scale, thus hopefully reducing vehicular speeds.

There are two variations on Primary Entry Theme Streets, discussed below. At some point along both Section A and B, the Primary Entry Theme Streets run adjacent to the natural bottom drainage channels, and/or the water quality basins discussed in the drainage section of Chapter 2. Exhibit 3-3 depicts the treatment of the Primary Entry Theme Street/drainage channel interface and Exhibit 3-4 illustrates the screening of the water quality basins.

Primary Entry Theme Street with Median – Street Section A

At the community gateways, large canopy trees will flank the street on both sides in a regularly spaced pattern at thirty feet (30') on-center, providing backdrop for the smaller flowering trees in the medians. The large canopy trees will continue the entire length of the Theme Streets in the parkway, and will connect each Community Gateway forming a loop system that is easily identifiable to the residents. The flowering trees will be associated only with the Gateways and will occur only where there are median islands. Refer to Exhibit 3-5 for Primary Theme Street Section A.

Pedestrians will be separated from vehicular traffic by a parkway that varies from seven feet (7') wide to fifteen feet (15') wide. The parkway will be planted with low flowering shrubs and medium height shrubs further separating pedestrians from vehicles.

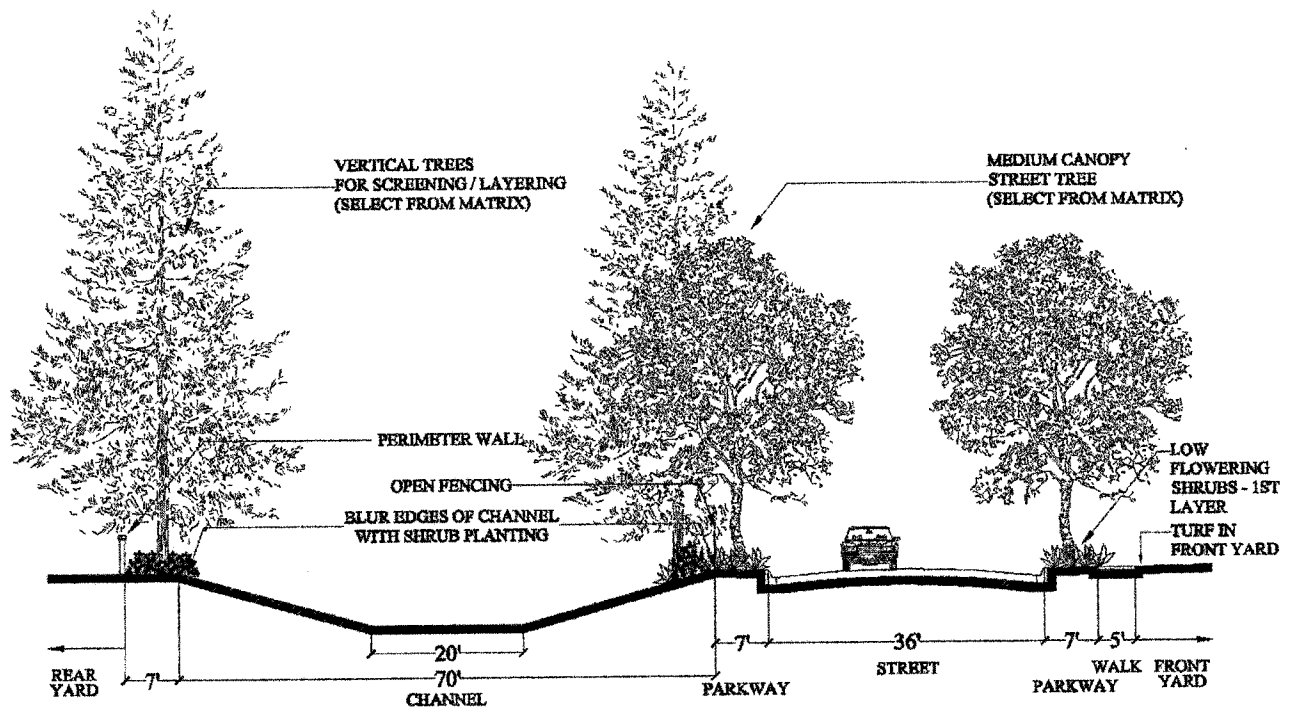


Exhibit 3-3

SPECIFIC PLANNING AREA 5 –
NORTHEAST GATEWAY

PRIMARY ENTRY THEME STREET/
DRAINAGE CHANNEL

ESCONDIDO, CA

JACK HENTHORN & ASSOCIATES

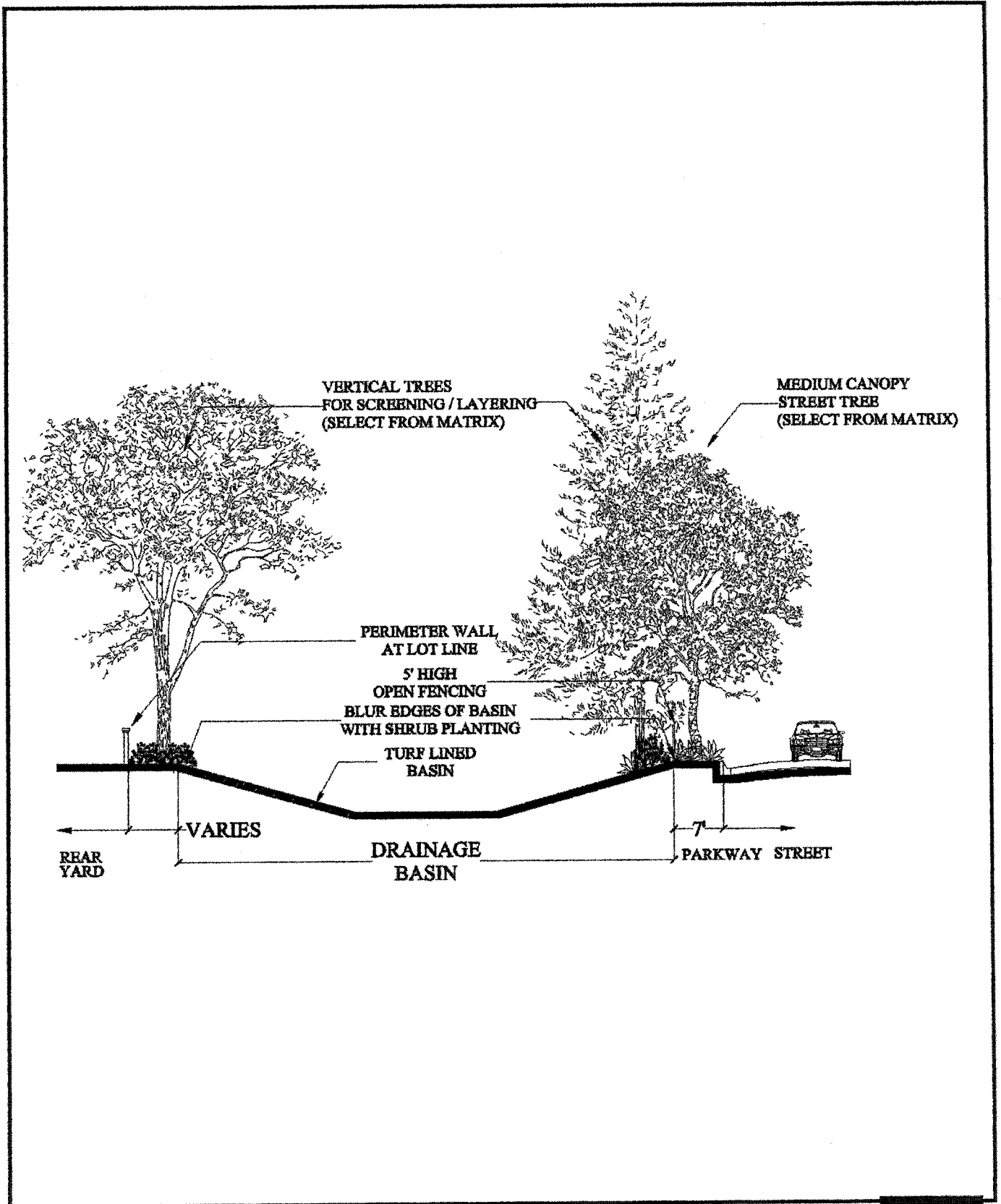


Exhibit 3-4

**SPECIFIC PLANNING AREA 5 –
NORTHEAST GATEWAY**

ESCONDIDO, CA

WATER QUALITY BASIN

JACK HENTHORN & ASSOCIATES

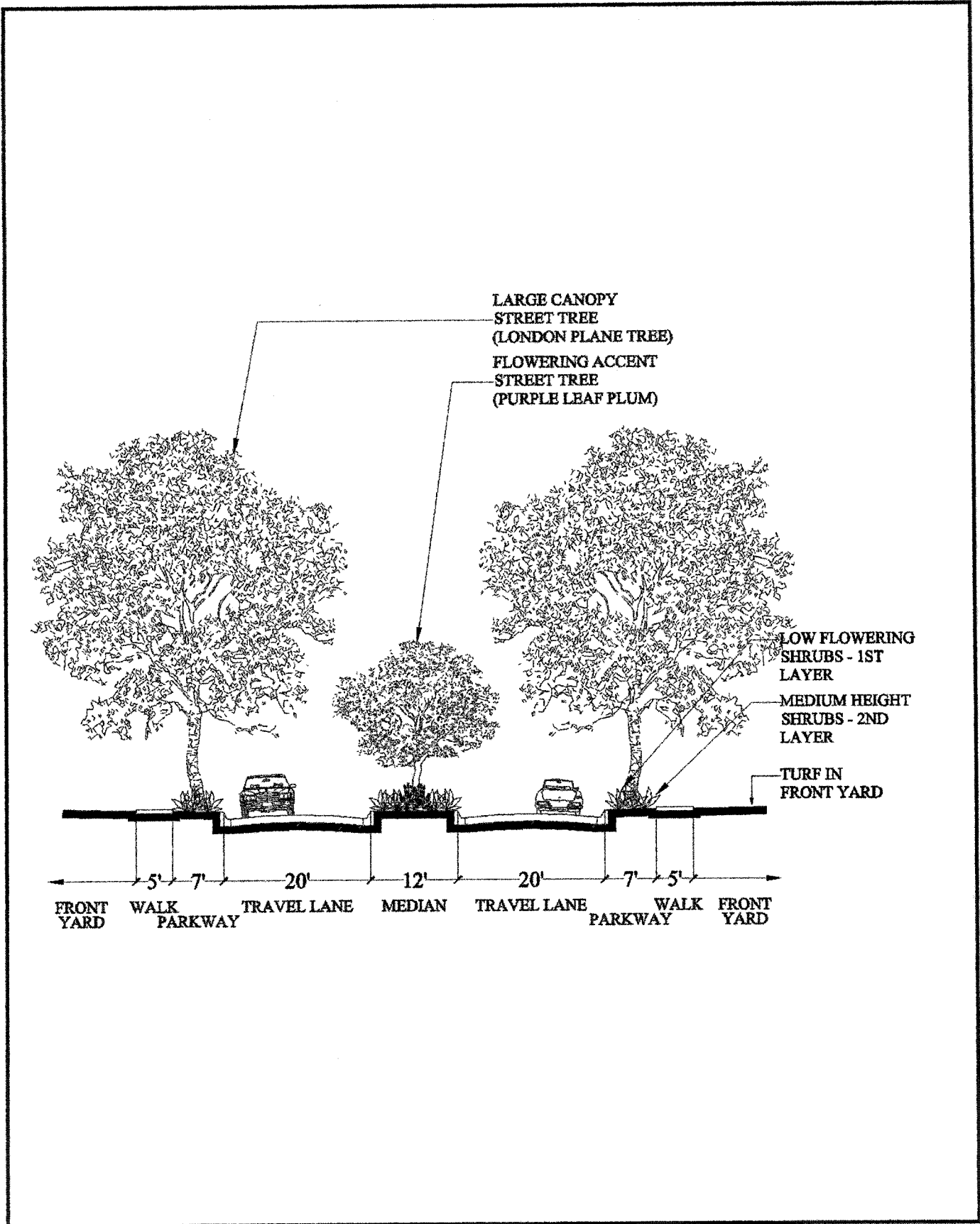


Exhibit 3-5

SPECIFIC PLANNING AREA 5 –
NORTHEAST GATEWAY

THEME STREET SECTION A

SPECIFIC PLAN**Primary Entry Theme Street without Median –
Street Section B**

Transition from the Primary Entry Theme Street with a median, to a cross section without a median will occur beyond the boundaries of the Community Gateway. It is intended that this cross section will continue throughout the community. Design intent of this street section remains the same. Refer to Exhibit 3-6 for Primary Theme Street Section B.

Large canopy trees will be planted at a regular spacing of thirty feet (30') on-center, with the intent that they will eventually form a full canopy providing shade over the parking lanes.

Local Double Loaded Street – Street Section C

Local Neighborhood Streets comprise the bulk of the streetscapes in the community and are intended primarily to serve local traffic. The typical configuration includes one travel lane in each direction, with on-street parking. Medium Canopy Trees located in the seven foot (7') wide parkway are intended to continue the theme of the community by providing canopied streets. Ground level planting may consist of shrubs and groundcover, or turfgrass. Trees shall be planted at twenty five feet (25') on center. Refer to Exhibit 3-7 for Local Double Loaded Street Section C.

Landscaping within the neighborhood streetscapes will be selected by the individual builders, therefore, the design guidelines are established only to guide the selection of plant material.

Local Single Loaded Street – Street Section D

Local Neighborhood Streets comprise the bulk of the streetscapes in the community and are intended primarily to serve local traffic. The typical configuration includes one travel lane in each direction, with on-street parking. Medium Canopy Trees located in the seven foot (7') wide parkway are intended to continue the theme of the community by providing canopied streets. Ground level planting may consist of shrubs and groundcover, or turfgrass. Trees shall be planted at twenty five feet (25') on center. Refer to Exhibit 3-8 for Local Single Loaded Street Section D.

Landscaping within the neighborhood streetscapes will be selected by the individual builders, therefore, the design guidelines are established only to guide the selection of plant material.

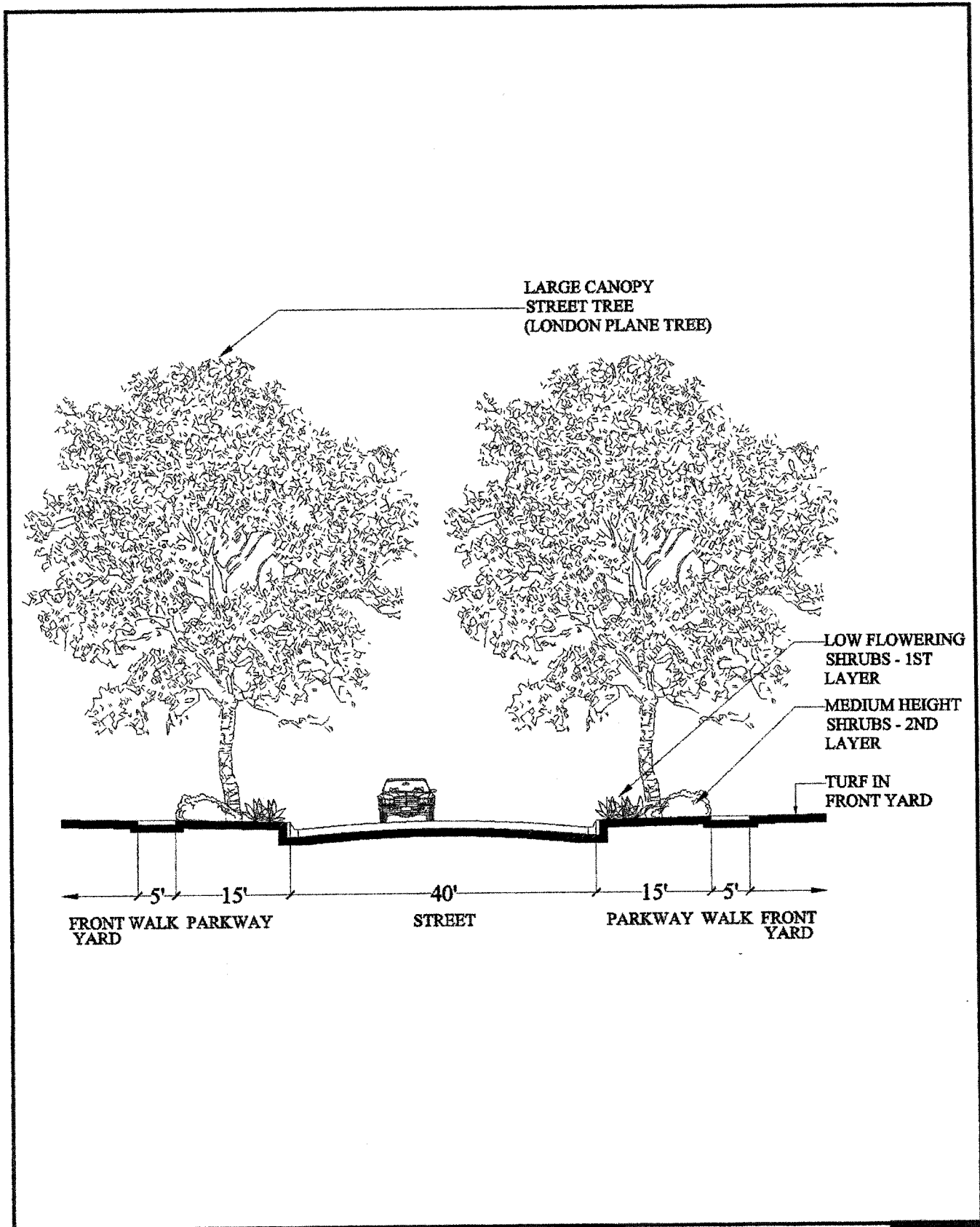


Exhibit 3-6

**SPECIFIC PLANNING AREA 5 –
NORTHEAST GATEWAY**

THEME STREET SECTION B

ESCONDIDO, CA

JACK HENTHORN & ASSOCIATES

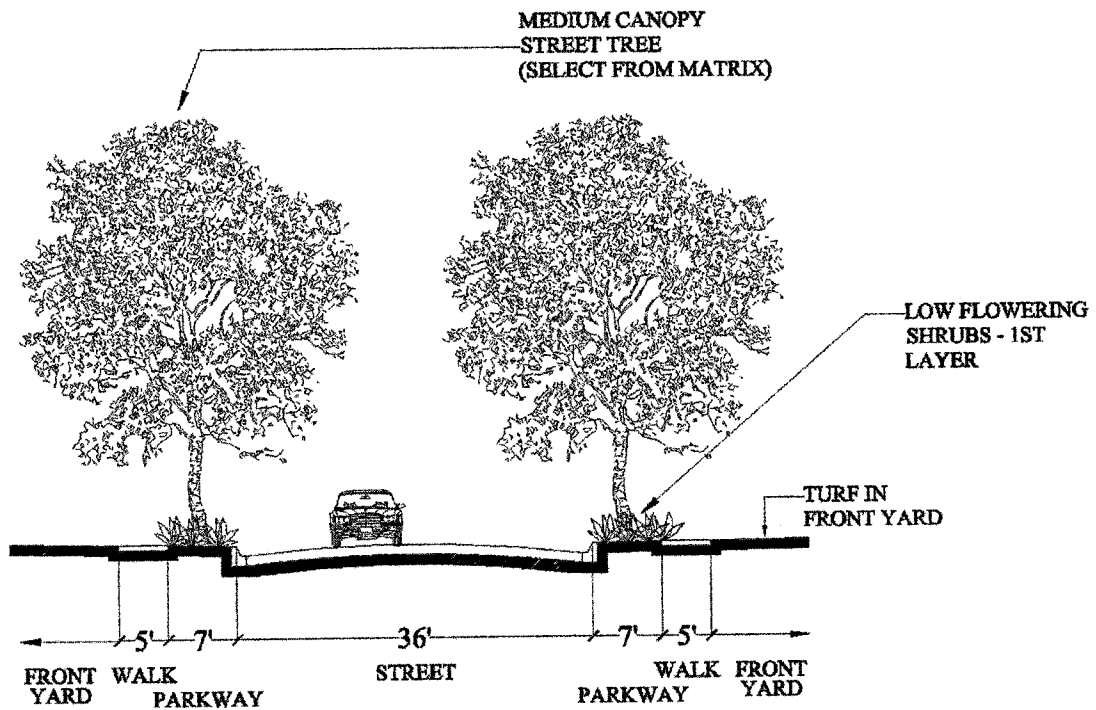


Exhibit 3-7

SPECIFIC PLANNING AREA 5 –
NORTHEAST GATEWAY

LOCAL DOUBLE LOADED
STREET SECTION C

ESCONDIDO, CA

JACK HENTHORN & ASSOCIATES

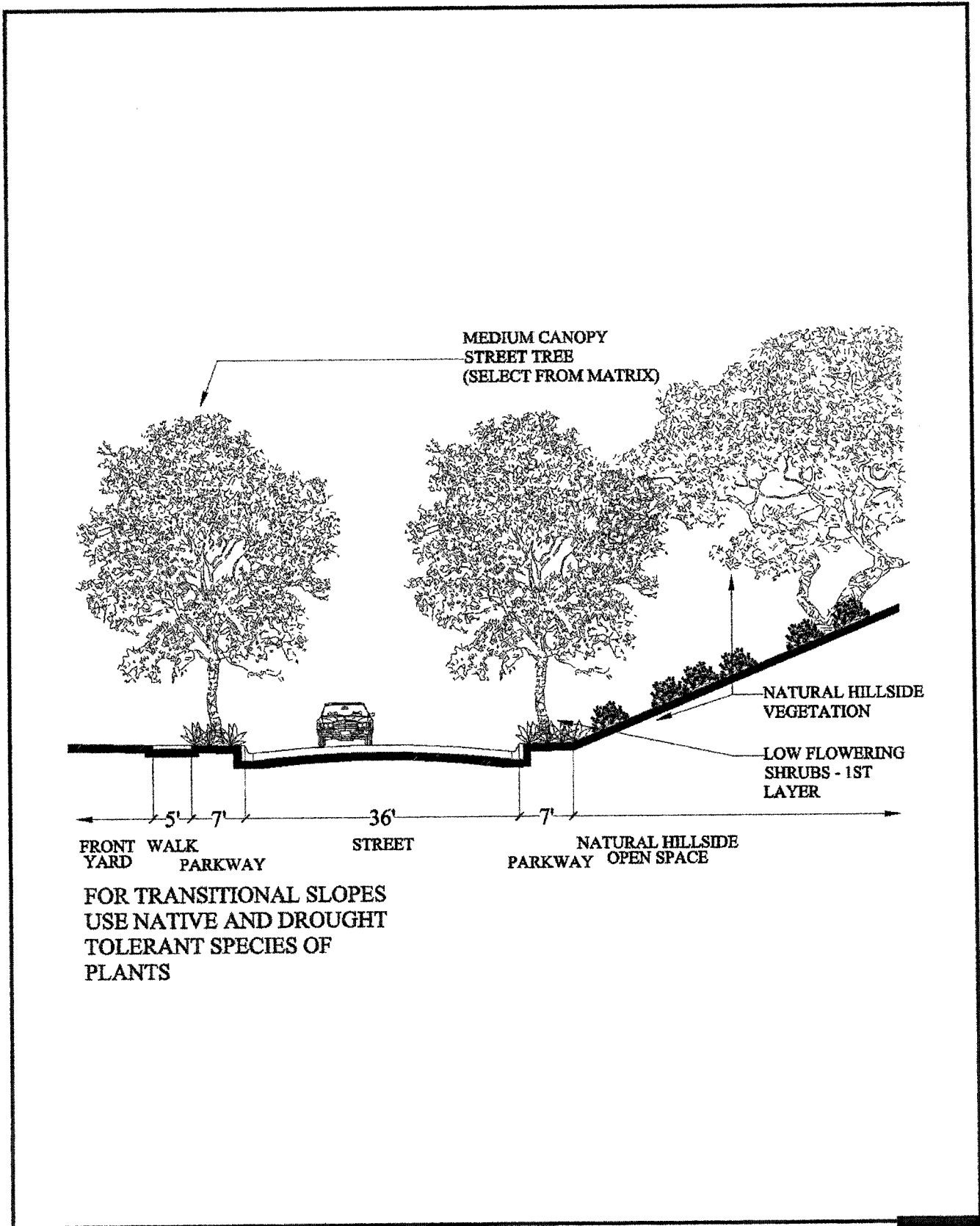


Exhibit 3-8

**SPECIFIC PLANNING AREA 5 –
NORTHEAST GATEWAY**

ESCONDIDO, CA

**LOCAL SINGLE LOADED
STREET SECTION D**

JACK HENTHORN & ASSOCIATES

3.4.4 Community Gateways and Project Entrances

Community Gateways will define the entries into the Northeast Gateway community. They will help establish the area as distinctly different from surrounding areas and will inform visitors that they are entering a special community within the overall area.

Since the majority of visitors will be arriving to the area by vehicle, the plan defines two different types of gateways that will be oriented primarily to vehicles; Community Gateways and Project Entrances.

1. Community Gateways

The Community Gateways will be the first experience of arriving visitors and will be oriented primarily to vehicles. The character of the gateways will be created by landscaping, accented by built elements and monumentation. The plantings will subsequently tie into the Primary Entry Theme Streets and continue the theme of the development. Primary elements of the Community Gateway include large scale planting of trees, with Flowering Accent Trees, vertical and horizontal Architectural Elements, and large shrub masses and seasonal color.

An important function of the Community Gateways is to create a sense of place which reflects the rural, agricultural heritage of the area. This will be achieved by placing monuments in the gateways that commemorate the agricultural heritage of the area. These monuments may be funded by the Public Art development fee collected by the City from the developers of the project, subject to approval by the City of Escondido City Council.

Other optional features which may be incorporated into these gateways include night lighting, flags and banners, and other identification signs to supplement directional signs. Exhibit 3-9 illustrates the Community Gateway plan.

2. Project Entrances

Project Entrances continue the theme of the development and allow individual builders the ability to identify their particular projects within the overall community.

Project Entrances and their associated monument signs will have a consistent relationship to the adjacent street, including a minimum setback and a perpendicular orientation to the street. Monument

SPECIFIC PLAN

signs will have a consistent design which identifies the project as being a part of the Northeast Gateway community.

Associated landscaping shall be complementary to the Community Theme and may include trees, shrub masses, groundcovers, vines and seasonal color. Plant material selection is limited to that material listed in the Tree and Shrub Selection Matrices.

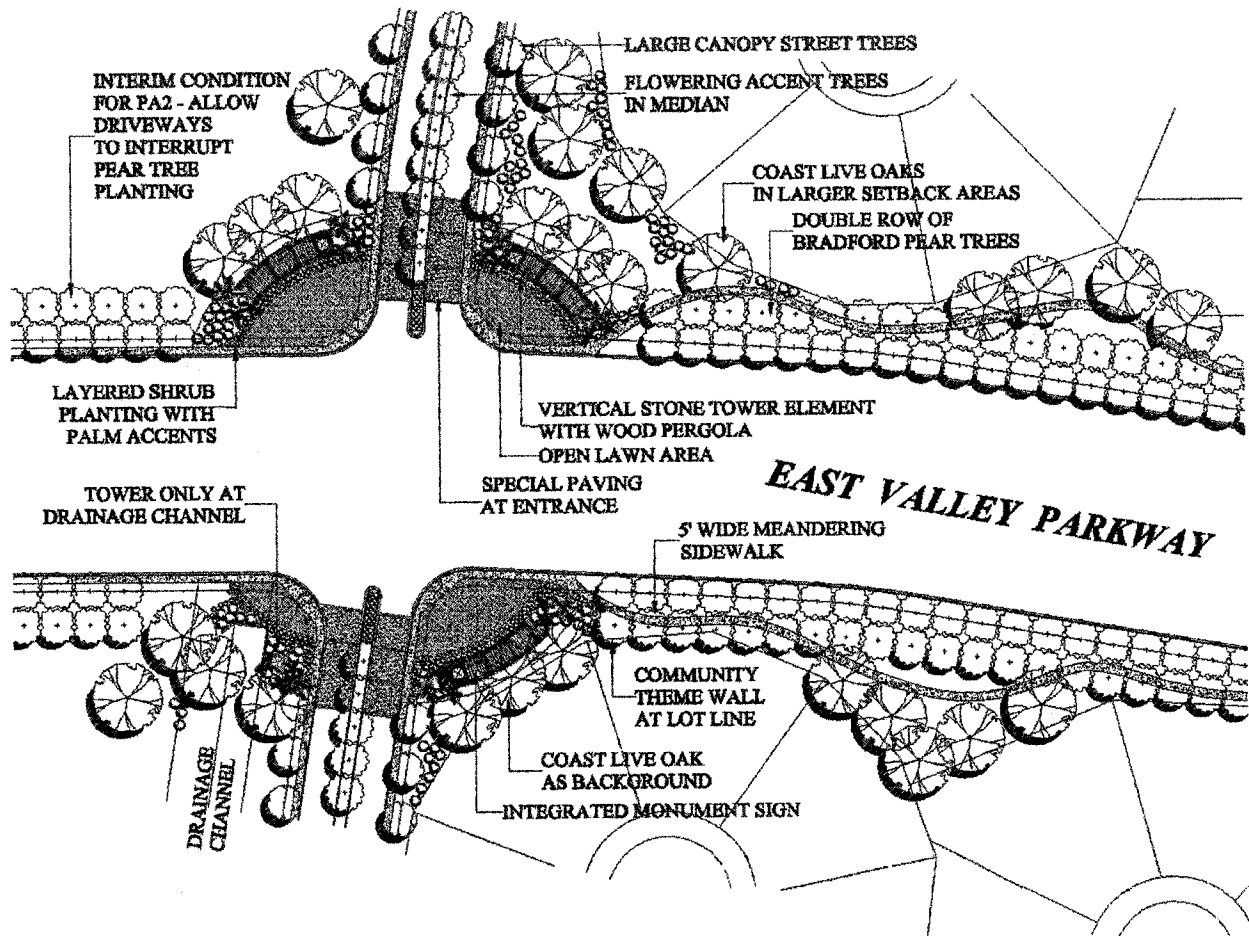


Exhibit 3-9

**SPECIFIC PLANNING AREA 5 –
NORTHEAST GATEWAY**

COMMUNITY GATEWAY PLAN

ESCONDIDO, CA

JACK HENTHORN & ASSOCIATES

SPECIFIC PLAN**3. City of Escondido Gateway**

Additionally, the amended General Plan description for the Northeast Gateway designates an area on the west side of East Valley Parkway, at the north end of Planning Area 1 for a Gateway Entrance identifying the entry to the City. The design of this monument will be addressed separately from the Community and Project Gateways, and is not included in this Specific Plan.

3.4.5 Recreation, Trails, and Open Space Areas

Recreational areas shall provide a range of opportunities for both active and passive recreation, and should be adapted to meet the needs and desires of the neighborhoods within the Specific Plan area. Within the Northeast Gateway community, there exist four types of recreational elements: Public Parks, Private Parks, Trails and Natural Open Space. Refer to Exhibit 2-1 for Recreation and Open Space Map.

1. Public Parks

The City of Escondido is in the process of constructing Ryan Park in Planning Area 4, and has recently completed Dog Park in Planning Area 5. In addition to these parks, there remains another 37 developable acres in Planning Area 5 for non-profit use. These facilities will provide both active and passive recreational amenities, as well as organized sports facilities for the residents of the community.

To preserve the rural, agricultural heritage of the area, monuments that commemorate the area's agricultural heritage should be placed in the public parks. These monuments may be funded by the Public Art development fees collected by the City from the developers of the project, subject to City Council approval.

2. Private Parks

Several private parks are planned for the Northeast Gateway community providing additional passive recreational amenities such as open play areas, picnic tables and barbecue facilities. The final size, design, and placement of these facilities will be left to the discretion of the builder of the respective project and consequently are not included on Exhibit 2.1; however, these parks will be landscaped in a manner consistent with the provisions of this section.

SPECIFIC PLAN

Landscaping will be comprised of large, medium and small canopy trees for shade, with the ground level consisting primarily of turfgrass to allow for multiple uses. Accent plantings and flowering trees will be used to provide interest. All plant materials shall be selected from the plant selection matrices found in section 3.5.3.

In order to preserve the rural, agricultural heritage of the area, the parks will contain monuments which commemorate the area's agricultural heritage. For this same purpose, the parks will be named after the people that established the first citrus groves in the area.

3. Trails

The opportunities for recreation in Escondido are greatly enhanced with the addition of public trails. These trails are intended for pedestrians and hikers, recreational bicyclists, and equestrians.

The City of Escondido's Trails Master Plan classifies three types of trails, Urban, Spur and Rural. The system consists of a network of these three specific trail classifications which are determined by the surrounding urban, suburban or rural environment and its relation to the systems as a whole.

A requirement of the Northeast Gateway Community is the provision of linkages through the property to Regional Trail Systems. This trail system will allow hikers, pedestrians, bicyclists, and equestrian riders to enjoy the hillside environment of the local area, as well as connect to Natural and Open Space resources outside of this community. Trails are addressed as a function of the circulation plan for the Northeast Gateway in Chapter 2, Section 2.3.5, and illustrated on Exhibit 2-4.

A. Urban Trails

Urban trails are paved surfaces, typically sidewalks, which are within the public rights-of-way adjacent to the public streets and, generally, the Escondido Creek Channel. The Northeast Gateway is an exception to this in that the Master Plan for Parks, Trails, and Open Space identifies the Escondido Creek trail as a Spur Trail (described below). Urban trails within the Northeast Gateway include a segment of the Northeast Ring (El Norte) and the pedestrian improvements along East Valley Parkway. To enhance public safety along the Escondido Creek Channel,

SPECIFIC PLAN

fencing will be provided at the channel's edge. As an interim safety measure, the trail will be routed along Washington Avenue between Ash and Harding streets until an underpass can be constructed.

The primary landscaping along the Urban Trail is comprised of street trees and parkway landscaping. Refer to Exhibit 3-2b for Typical Urban Trail Cross Section.

B. Spur Trails

Spur trails, like urban trails, are usually paved surfaces within the public right-of-way. Within the Northeast Gateway, spur trail "SE" along the Escondido Creek Channel provides the primary bicycle route through the SPA. Spur trail "SE" will link to eventual bikeway improvements south of the Northeast Gateway SPA.

To enhance public safety along the Escondido Creek Channel, fencing will be provided at the channel's edge. As an interim safety measure, the trail will be routed along Washington Avenue between Ash and Harding streets until an underpass can be constructed. Exhibit 3-10 illustrates a typical spur trail cross section.

C. Rural Trails

Rural trails are unpaved paths that encircle the city through natural, undeveloped areas. The construction techniques for Rural Trails will be similar to the Pacific Crest Trails standards used in the California State Park System. There are three types of Rural Trails: Rural Regional Connector, Primary Local Rural, and Secondary Local Rural.

The Regional Connector Rural Trail system passes through the Northeast Gateway Community in the eastern Hillside Open Space area.

As trails should serve the community by providing a positive route linking neighborhoods, parks and regional features, the physical aspects of the trail must be balanced to provide for a full spectrum of anticipated users. Trails must also provide features that contribute to the user's enjoyment, which may include staging areas, benches, interpretive displays, view points, etc. Opportunities to provide these trail features should be determined during the course of the trail design, as final routes and destinations

are subject to modification based on actual site conditions. The types of trail features, and specific trail design guidelines are defined in the City of Escondido's Master Plan for Parks, Trails and Open Space.

Landscaping along the Rural Trail will be primarily re-vegetation of the native species disturbed during construction. Additionally, trees may be added for shade at specific locations. Refer to Exhibit 3-11 for Typical Rural Trail Cross Section.

4. Open Space Areas

Natural Open Space occurs along the eastern and western boundaries of the Northeast Gateway, totaling approximately 119 acres of land. Habitats occurring within the open space include coastal sage scrub, southern willow scrub, coast live and Englemann oak woodlands, and chaparral.

As much as possible, Natural Open Space areas shall be left undisturbed.

Throughout the Northeast Gateway Specific Plan, development standards, such as maximum lot coverage and setbacks maintain an open, residential atmosphere. The development standards are largely based on the City of Escondido's single-family residential standards and seek to visually balance the built environment with open space areas and thus avoid a congested appearance. While these standards, illustrated on Table 3-A, apply to all residential development within the Northeast Gateway, they are particularly critical in areas predominantly composed of 4,000 and 6,000 square foot lots. Maintenance of the setbacks in the manner described in the development standards section is critical to the continuity of atmosphere within the smaller lot areas of the Northeast Gateway.

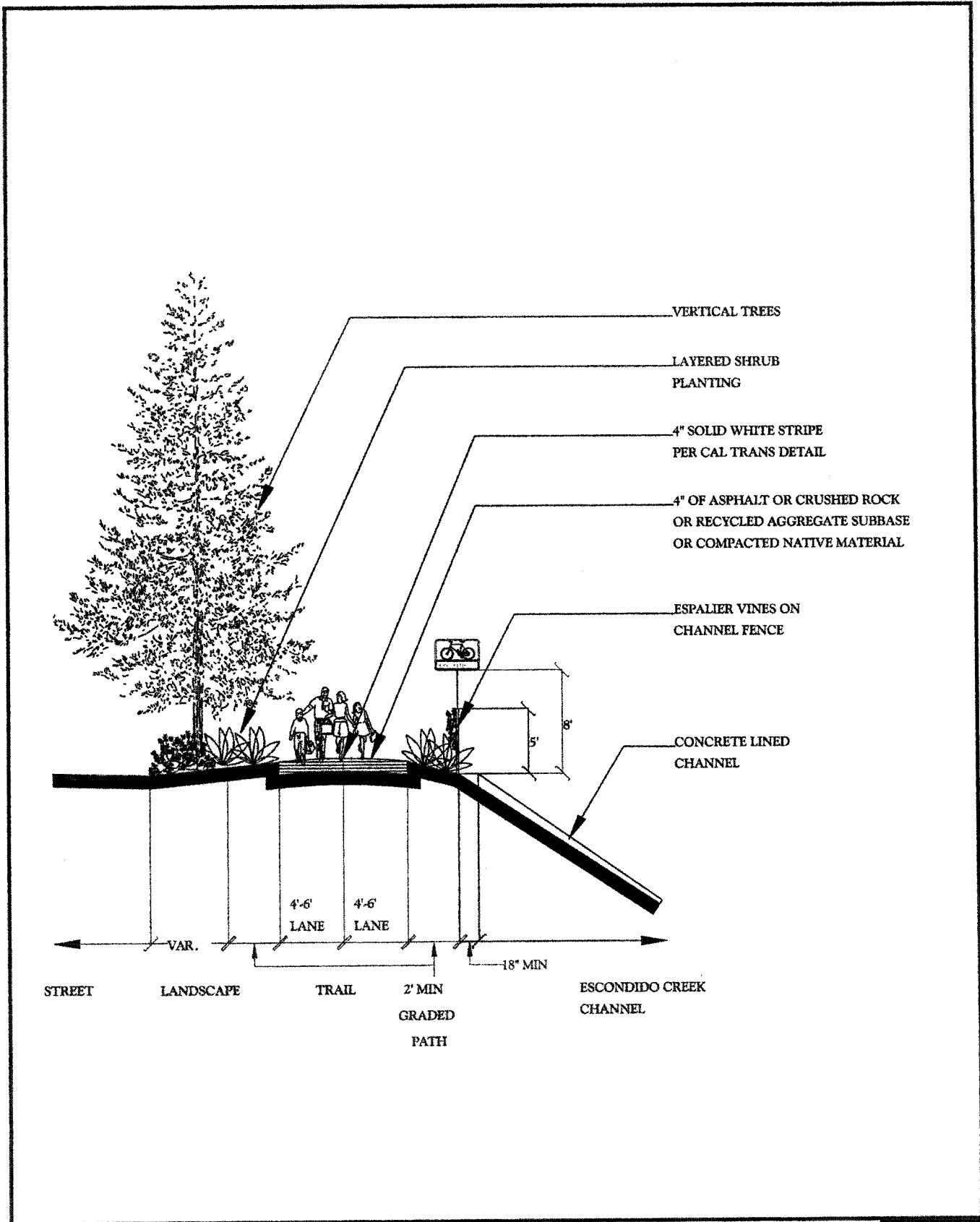


Exhibit 3-10

SPECIFIC PLANNING AREA 5 –
NORTHEAST GATEWAY

TYPICAL SPUR TRAIL CROSS SECTION

ESCONDIDO, CA

JACK HENTHORN & ASSOCIATES

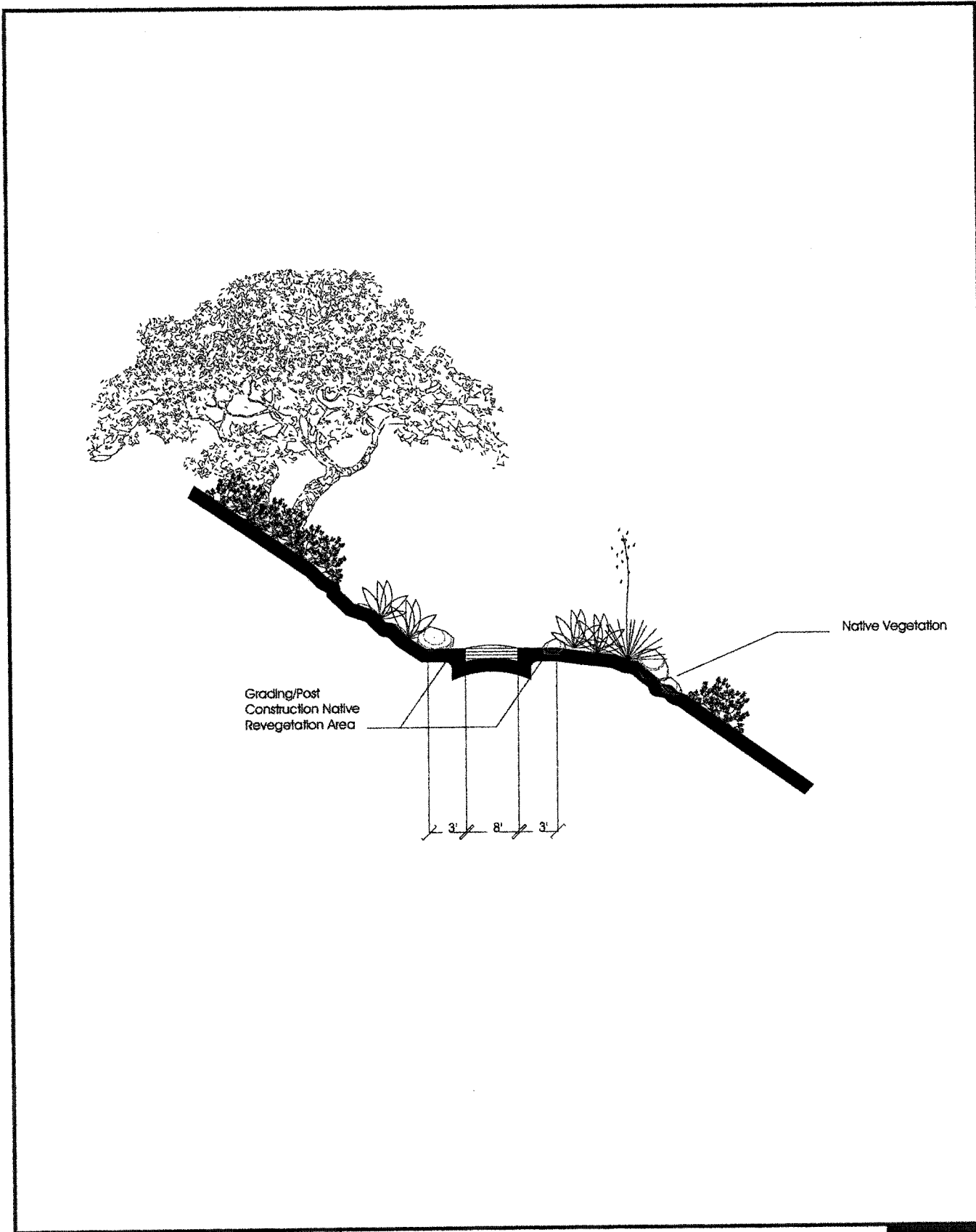


Exhibit 3-11

**SPECIFIC PLANNING AREA 5 –
NORTHEAST GATEWAY**

**TYPICAL RURAL TRAIL
CROSS SECTION**

ESCONDIDO, CA

JACK HENTHORN & ASSOCIATES

3.4.6 Slopes, Disturbed Areas, and Fuel Modification Zones

The purpose of the slope landscaping guidelines is to establish specialized criteria and fundamental elements. Both the physical and aesthetic characteristics of the community slopes are important. The integrity of the slopes must be maintained to physically support development, but they must also maintain the aesthetic character of the surrounding natural hillsides. Refer to Exhibit 3-12 for Slopes and Fuel Modification Zone Map.

1. Slopes

A. Interior Slopes

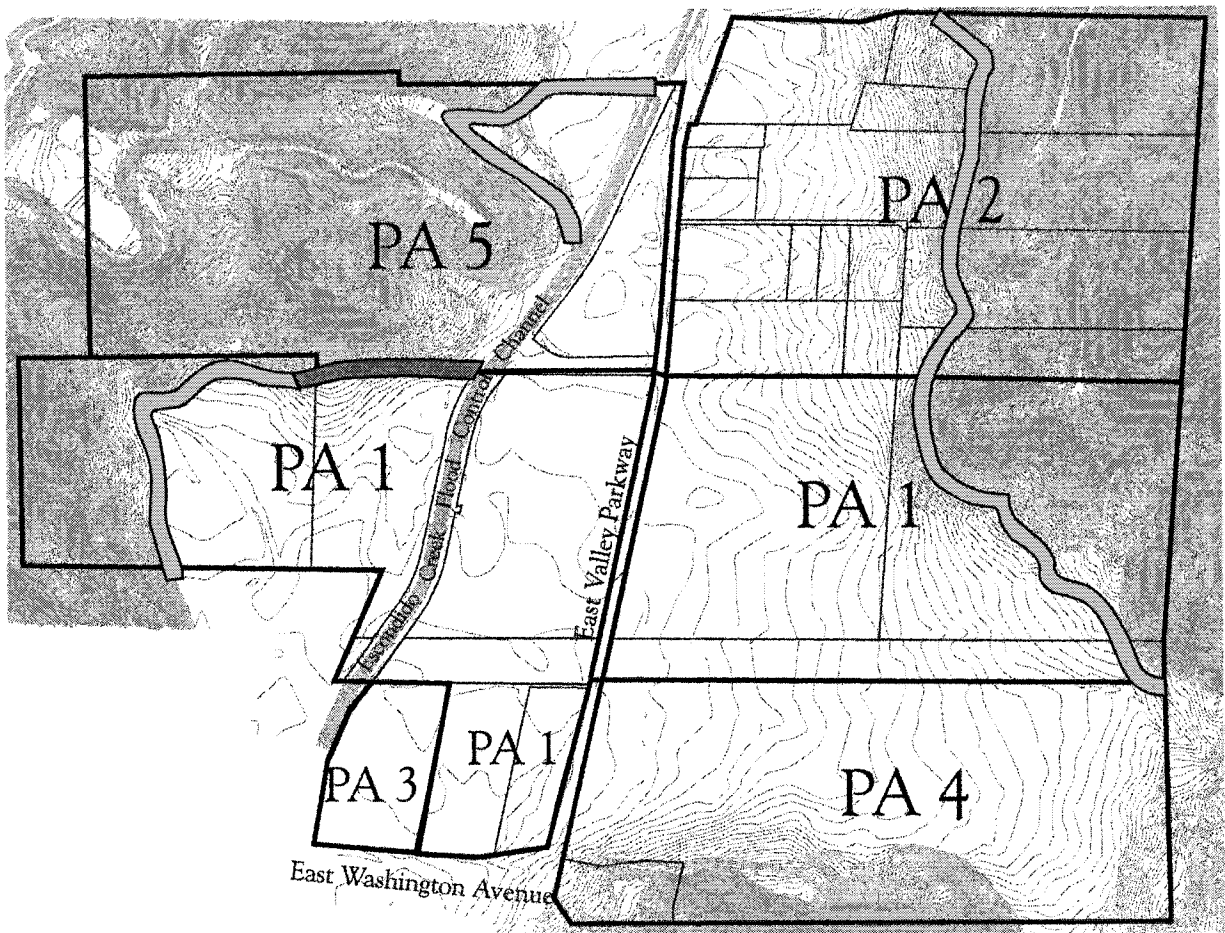
Interior slopes occurring within the Specific Plan area are defined as slopes between developable portions of the community. They are typically engineered slopes not exceeding 2:1. Interior slopes are not anticipated to be extensive throughout the community as the developable portions of the site remain relatively flat. The design intent for the interior slopes will be to provide screening between the homes where slopes occur. Medium and small canopy trees, along with vertical tree forms will be utilized on the slope landscaping. Shrubs and groundcover will be selected for ease of maintenance, and drought tolerance. Refer to Exhibit 3-13 for Interior Slope Typical Cross Section.

B. Transitional Slopes and Disturbed Areas

Transitional slopes occur at the boundaries of the native vegetation in the open space areas and the developed properties.

General requirements of Interior Slopes apply to Transitional Slopes as well.

Transitional slopes shall utilize a combination of native plants and drought tolerant ornamental species as identified in the Community Plant Palette. Plant choices for open space zones shall emulate the native plant community occurring in that specific location. Due to the diversity of species within the open space areas, disturbed areas requiring new planting shall be determined on an individual basis. Planting and hydro-seed mix designs shall be tailored specifically for each area individually. Refer to Exhibit 3-14 for Transitional Slope Typical Cross Section.



LEGEND



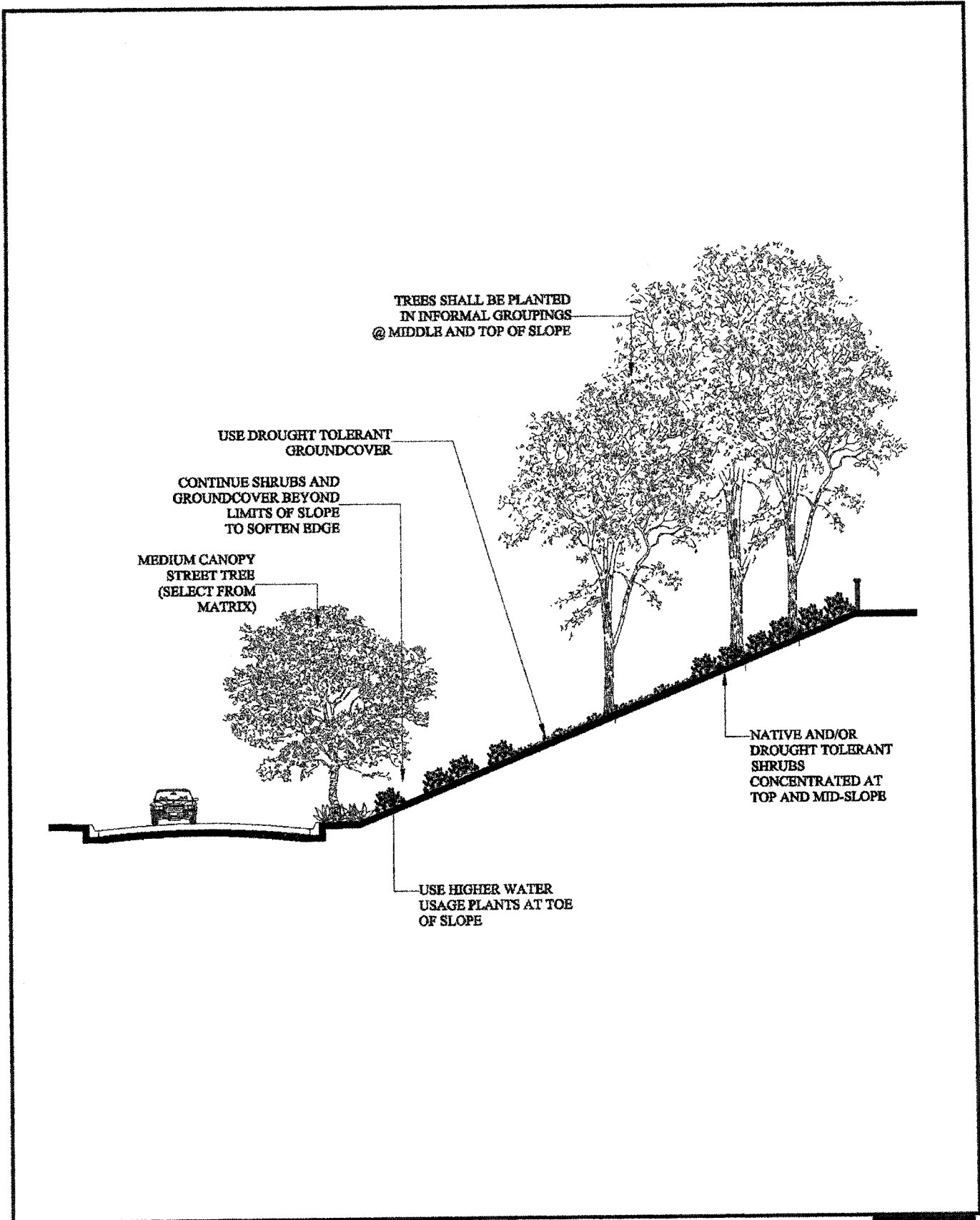
-  **Transitional Slopes and Fuel Modification Zone**
(Uphill condition where lots abut open space)
-  **Fuel Modification Zone**
(Uphill or flat condition where road abuts open space)

Exhibit 3-12

**SPECIFIC PLANNING AREA 5 –
NORTHEAST GATEWAY**
ESCONDIDO, CA

SLOPES AND FUEL MODIFICATION ZONES



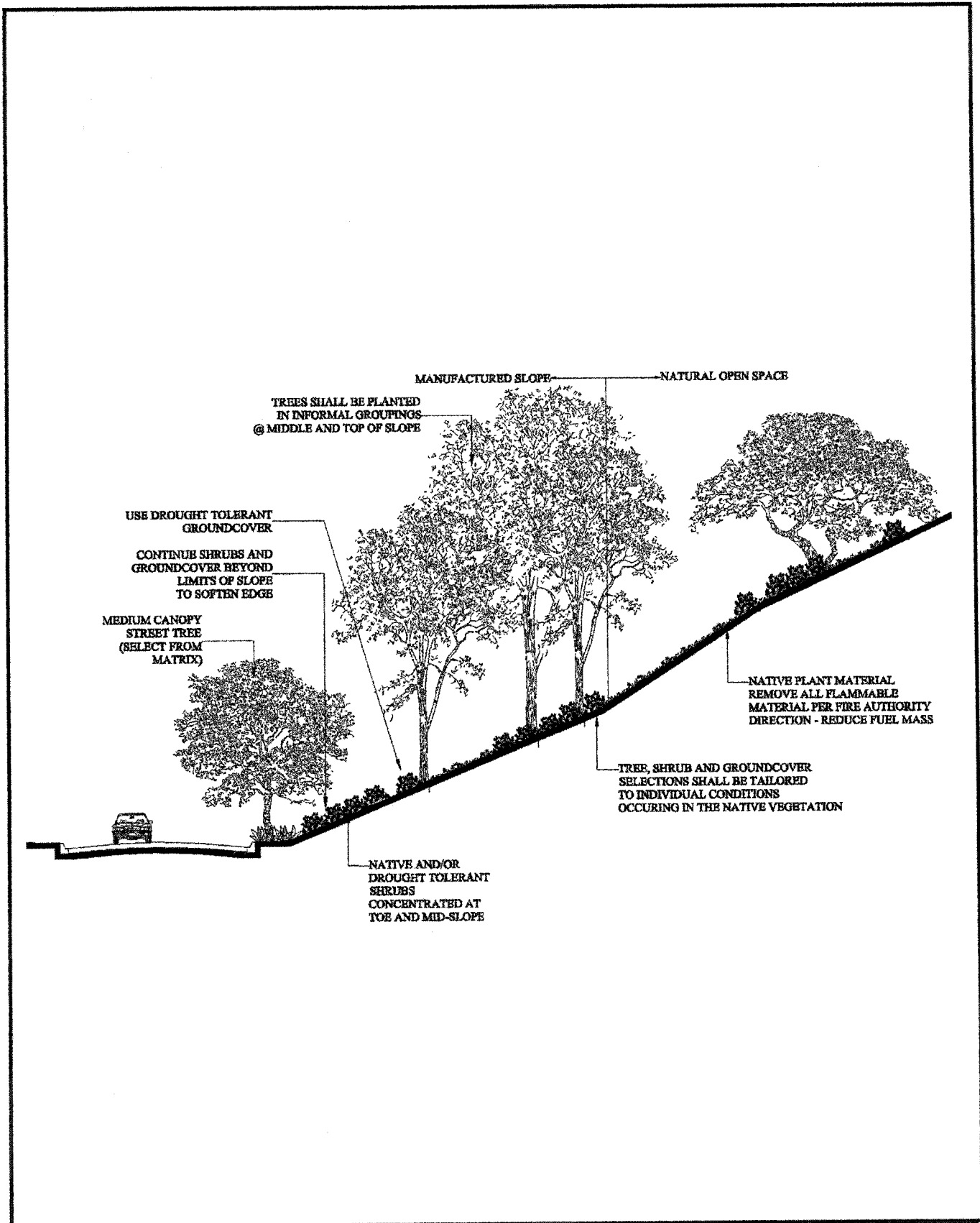
**SPECIFIC PLANNING AREA 5 –
NORTHEAST GATEWAY**

ESCONDIDO, CA

Exhibit 3-13

**INTERIOR SLOPE TYPICAL
CROSS SECTION**

JACK HENTHORN & ASSOCIATES



**SPECIFIC PLANNING AREA 5 –
NORTHEAST GATEWAY**

ESCONDIDO, CA

**TRANSITIONAL SLOPE TYPICAL
CROSS SECTION**

Exhibit 3-14

JACK HENTHORN & ASSOCIATES

SPECIFIC PLAN

Since Transitional Slopes are likely to occur in Fire Fuel Modification Zones, the requirements of that section shall also apply where there is overlap.

2. Fuel Modification Zones

The goal of fuel management guidelines are to establish minimum regulation consistent with nationally recognized good practices for safeguarding of life and property. It is intended to mitigate the risk to life and structures from intrusion of fire from wild-land exposures and fire exposures from adjacent structures and to mitigate structure fires from spreading to wild-land fires.

An effective fuel modification zone shall be created by removing, clearing, or modifying combustible vegetation and other flammable materials from areas within 100 feet from such buildings or structures. The fuel modification zone may be planted with either approved irrigated, fire-resistant planting material or approved non-irrigated, drought-tolerant, fire-resistant planting material. Planting of the fuel modification zone may be required for erosion control.

Single specimens of trees, ornamental shrubbery or similar plants used as ground covers may remain, provided that they do not form a means of rapidly transmitting fire from the native growth to any structure.

Grass and other vegetation located more than 30 feet from buildings or other structures and less than 18 inches in height above the ground need not be removed where necessary to stabilize the soil and prevent erosion.

A. Required clearances at existing off site roadways

The area within 10 feet of each side of the improved width of highways and private roads shall comply with the requirements of a fuel modification zone.

SPECIFIC PLAN

B. Required clearances at new off-site and on-site roadways

The area on each side of the improved width of highways, private roads and driveways shall comply with the requirements of a fuel modification zone. The minimum dimensions of the fuel modification zone shall be as required below:

Improvement Width (in feet)	Fuel Modification Zone Distance from each side of Roadway (in feet)
16	20
24	16
28	12
32	10

Refer to Exhibit 3-15 for Typical Fuel Modification Zones Cross Sections.

3.4.7 Community Walls, Fences and Monuments

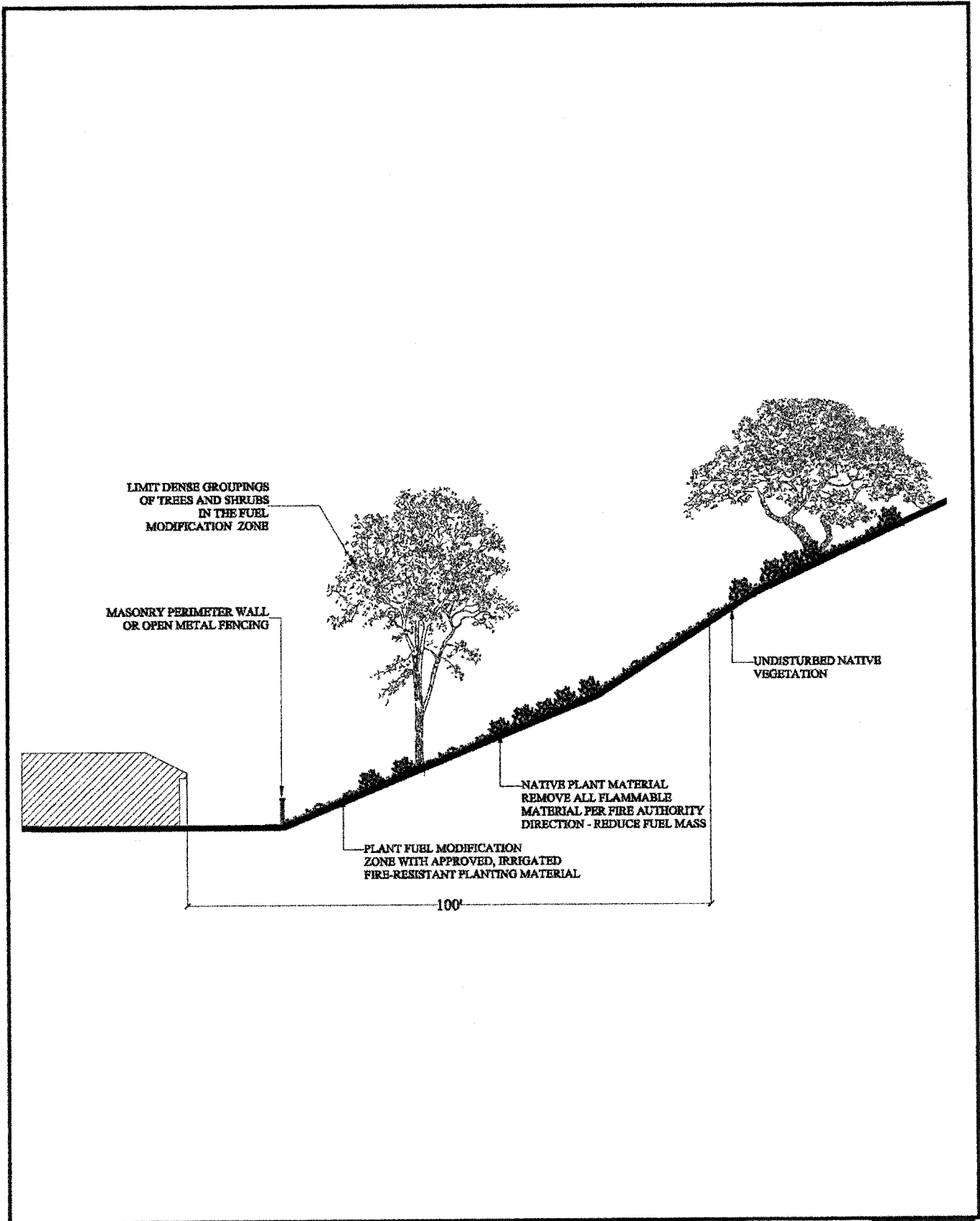
This section of the Landscape Concept describes how walls, fences, monuments and other constructed elements help create the unified environment envisioned for the Northeast Gateway Community. The following concepts are the principles which apply to the development of these elements within the community. Refer to Exhibit 3-16 for Community Walls and Fencing Plan.

1. Reinforce the Character of the Community

The basic forms and materials of walls, fences and monuments shall be more rustic and traditional in principle and appearance.

Symmetry in the arrangement of these elements will be employed in both the design of the individual elements and in their placement in the landscape. They should be placed also with a geometry established by the landscape planting; particularly the regularly spaced street trees.

They should convey a sense of warmth and friendliness that will make visitors and residents feel welcome.



**SPECIFIC PLANNING AREA 5 –
NORTHEAST GATEWAY**

ESCONDIDO, CA

Exhibit 3-15A

**TYPICAL RESIDENTIAL FUEL
MODIFICATION ZONES**

JACK HENTHORN & ASSOCIATES

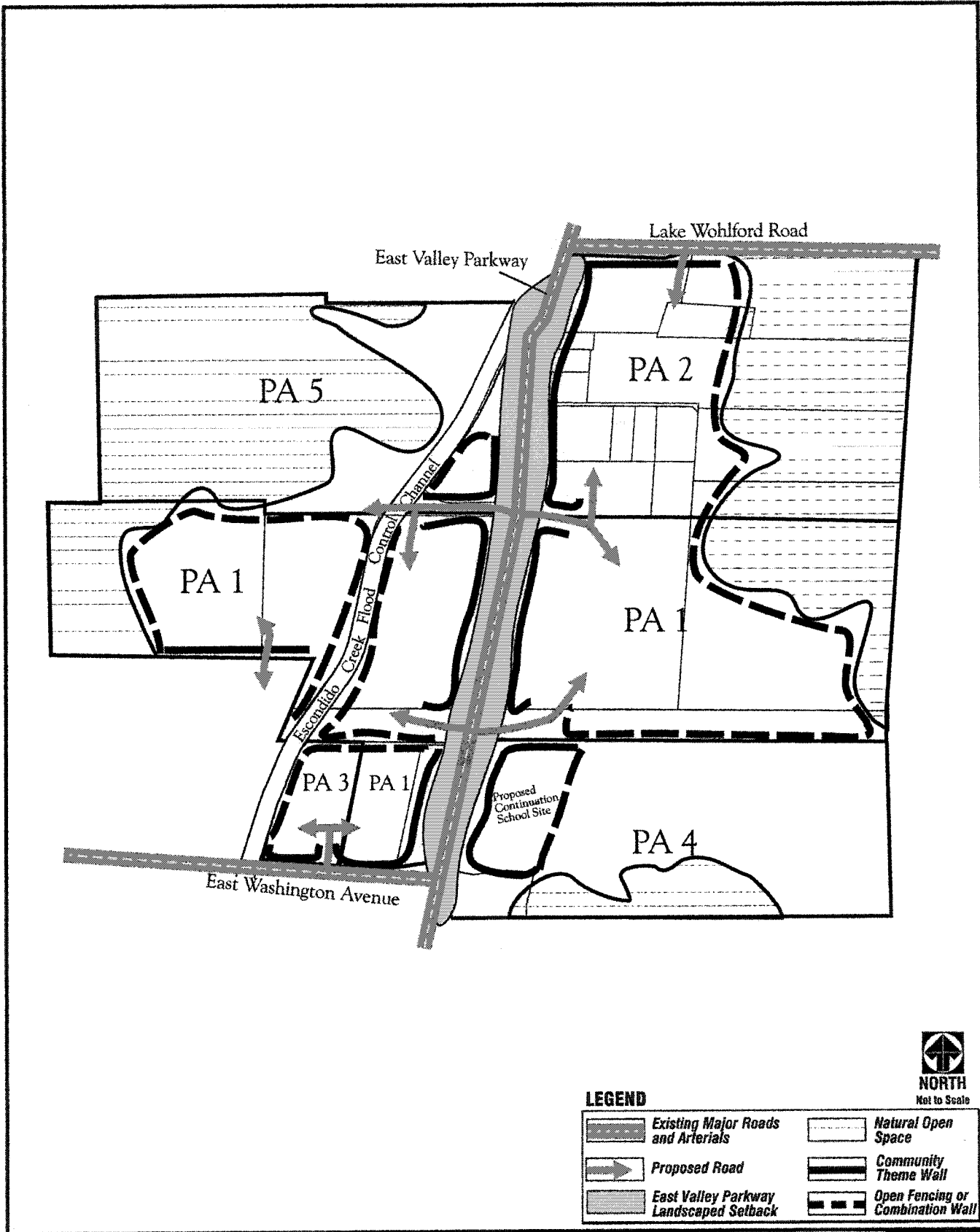


Exhibit 3-16

**SPECIFIC PLANNING AREA 5 –
NORTHEAST GATEWAY**
ESCONDIDO, CA

COMMUNITY WALLS AND FENCING PLAN
JACK HENTHORN & ASSOCIATES

SPECIFIC PLAN**2. Consistency in Colors and Materials**

A consistent color and material scheme for all constructed elements has been established in Section 3.6.3 to further enhance the area's visual appearance and provide a distinct identity. The dominant hues of the color system complement the landscape and incorporate the colors found in the natural environment.

3. Community Gateway

The Community Gateways will define the entrances into the community and establish the overall theme. Gateways should incorporate a balance of horizontal and vertical architectural elements. In addition, the Gateways will introduce stone as a material, setting the overall tone as rustic and rural. An integral monument sign provides a base for Community Identification.

4. Project Entrances

Project Entrances continue the theme of the development and allows individual builders the ability to identify their particular projects within the overall community.

The plan provides for freestanding monument signs to be located at Project Entrances. Monument signs will have a consistent design which identifies the project as being a part of the Northeast Gateway community. Repetition of the stone as a material on the monument signs continues the theme established at the Community Gateways.

Each project may have only one freestanding primary identification sign.

All freestanding signs shall be monument (on-ground) signs. Pole or pylon signs are prohibited.

In general, the number of colors used on a sign should be limited. The base color identified in the color system shall be used as the sign face background, and a contrasting color used for the sign copy. A project logo may have a variety of colors. Use of fluorescent colors is prohibited.

Locate freestanding monument signs so that vehicular sight distances at entry streets are maintained.

SPECIFIC PLAN

Encourage landscape screening behind the monument sign.

5. Community Walls and Fences

The project "theme" walls along with pilasters and accent trees will be used for architectural emphasis and identification at the main entrances to the community. These "theme" walls will also be designed and provide for sound attenuation, security, and preservation of views.

Exterior walls should be provided along major roadways based upon the following guidelines:

Walls should be made of a textured surface material that is compatible with the design of the neighborhood area.

The monotony of a long wall should be broken by visual relief through periodically recessing the wall or construction of pilasters.

Landscaping such as trees, shrubs, or vines shall be used to soften the appearance of the wall.

Walls which serve as a subdivision exterior boundary should be five feet in height from the highest finished grade.

Walls used as rear or side yard walls shall be constructed five feet in height depending upon the conditions that exist.

Combined solid fencing, walks and open fencing may be used to create interest.

Fencing design shall avoid long continuous runs. Jogging the fence line to avoid monotony is encouraged.

Earth berms shall be used to supplement the fencing whenever practical.

Sound walls, where required, shall be used to mitigate adverse noise impacts on residential units.

Landscape planting shall be used to supplement and soften fencing and obscuring long lengths of fence with vines and shrubs is encouraged.

3.5 LANDSCAPE STANDARDS

The goal of the Landscape Standards is to provide specific parameters to the concepts developed in the previous section. These design concepts become aesthetic and functional aspects of the community when all the elements work together to unify the site.

3.5.1 Site Landscape Guidelines

The primary goal of a planting design should be to enhance the surroundings and solve environmental problems. The function of plant materials can be placed into several categories of uses. These uses should give direction to the design and selection of plant materials.

1. Architectural Uses – Plants, used singly or in groups, form walls, canopies or floors of varying heights and densities, define spaces and accentuate views.
2. Engineering Uses – When plants are well chosen and located, they can control glare, traffic sound, filtration and soil erosion.
3. Climate Control – Plants have the ability to alter adverse micro-climates, making the environment more pleasant. This change is effected through interception of precipitation and solar radiation, and also through wind and temperature modification.
4. Aesthetic Uses – Aesthetics have typically been the primary factor in determining plant use. A plant is effective as a piece of sculpture creating interest. Plants can also be used to blend together various unrelated elements.

Additional Considerations

Design landscape and open space areas to be an integral part of the overall site plan design.

Use trees to define and enclose exterior spaces, and to provide physical protection from the sun and wind.

Provide for landscaped open space areas that enhance the building design and public views and provide buffers and transitions between adjacent uses.

SPECIFIC PLAN

Use arbors, trellises, walls, gates and other elements to reinforce the architecture of adjacent buildings. Landscape structures should be compatible and consistent with the architectural treatment of the adjacent buildings.

Screen undeveloped, vacant land intended for future phases with plants that prevent wind and water erosion.

Space plants to assure unobstructed visual access for vehicles and pedestrians.

Ensure that plant materials do not interfere with security lighting, or restrict access to emergency apparatus such as fire hydrants or fire alarm boxes.

Climatic Adaptability

Plant material suitable for Southern California is often selected based on the Climatic Zones defined in the Western Garden Book by Sunset.

The Northeast Gateway Community is located in Sunset Zone 21. Zone 21 can be influenced by ocean air, high fog, or Santa Ana winds. Low temperatures range from 23 degrees to 36 degrees Fahrenheit.

3.5.2 Planting Design Guidelines

Provide simple, bold and easy to maintain landscape planting designs which incorporate many drought tolerant plant materials.

Provide a mix of plant material sizes in informal planting arrangements. The following is a typical mix of plant sizes for an informal planting:

Trees

30%, 24" box

60%, 15 gallon

10%, 5 gallon

Shrubs

60%, 5 gallon

40%, 1 gallon

Groundcover

100% coverage, within 1 year

SPECIFIC PLAN

Provide for plant palettes that include both long and short lived plant materials. Long-lived materials include trees and most shrubs; short-lived materials include perennials, annuals and some shrubs.

Select plant materials which are suited to the soil and climatic conditions of the site.

Minimize the use of water through the selection of plants that are drought tolerant when they are mature.

Space trees and shrubs with consideration for their ultimate size.

Ensure that all groundcover is healthy and densely foliated, and is comprised of well-rooted cuttings or container plants. Groundcovers planted from flats shall be planted no more than eighteen inches (18") on center. One gallon container ground cover shall be planted no more than four feet (4') on center.

1. Street Tree Installation Guidelines

The following standards apply for tree selection location and planting of street trees within the city right-of-way. The standards apply to the number of trees, not the specific spacing.

Location of Trees

1. Street trees shall be located within the public right-of-way (ROW) or within a five (5) foot additional width easement behind the ROW. Generally speaking, the tree will be located approximately three (3) to eight (8) feet behind the curb or sidewalk.
2. Street trees shall be located and maintained to preserve a clear zone of at least ten (10) feet from fire hydrants, utility poles, overhead utility wires, street light luminaries, and aboveground utility structures such as transformer enclosures.
3. Street trees shall be planted at least five (5) feet from underground utility such as water, storm drain, gas, electric and telephone, and eight (8) feet from any sewer lines.
4. The tree shall be placed away from the intersection so as to allow for adequate site distance. The allowable site distance shall be determined by the city engineer.
5. The tree shall not restrict bus loading or unloading.
6. The tree shall be at least three (3) feet from any meter box.
7. The tree shall be at least eight (8) feet from driveways.

Number of Trees

In all commercial, industrial and residential development, there shall be a minimum of one (1) street tree for every thirty (30) linear feet of street frontage within or adjacent to the development.

Additional Requirements

1. The minimum size street tree shall be a fifteen (15) gallon, two (2) inch caliper and six (6) feet in height, in accordance with AAN standards.
2. All trees shall be double-staked using treated lodgepole pine stakes and flexible rubber ties. Remove any nursery stakes. Trees located within six (6) feet of pavement shall be provided with root barriers.
3. All trees shall have a watering basin around the tree, except in turf areas, and shall receive deep watering to promote deep rooting until established or based on individual tree demands.
4. Palms used as street trees shall be a minimum of six (6) foot brown trunk height (BTH). Single-stem trees such as palms which do not lend themselves to top trimming will not be permitted under utility wires.

Street Tree Maintenance and Replacement

1. Newly planted trees shall be watered until established and shall be maintained in a flourishing manner. Trees shall be replaced with a minimum fifteen (15) gallon size tree consistent with the suggested street tree list.
2. All street trees shall be watered by the abutting owner in front of whose property such trees are planted.
3. The planting, removal, trimming, pruning of trees in all public parks, parkways and street right-of-way within the City of Escondido shall be approved by the Director of Parks and Recreation.

Soil Amendments

All projects within the community shall be required to have soil analysis with submitted soil amendment specifications. Testing shall be performed by a certified agronomic laboratory.

All plant pits shall have backfill amended thoroughly as specified.

SPECIFIC PLAN

A uniform soil mixture must be provided throughout the entire root zone. Thoroughly incorporate all amendments into the top 4" – 6" of planting area soil depths.

2. Plant Installation

Soil testing by a certified agronomic soil testing laboratory and/or a twenty-four (24) hour percolation test shall be conducted prior to the installation of plants and irrigation systems.

All planting areas shall have positive surface drainage with a minimum gradient of two percent (2%) and shall be adequately drained with a system of drain inlets and pipes where needed.

Root barriers shall be used on all tree plantings in or near sidewalks, curbs and driveways.

Tree drains shall be used at each tree in areas of poor percolation or problem drainage areas.

Trees larger than 24" box shall be guyed per City Standard Details. Trees smaller than a 24" box shall be double staked per City Standard Details.

Concrete mow curbs shall be used to separate turf and shrub areas. The mow curbs shall meet walks at a ninety degree angle to increase the efficiency of the irrigation system.

Turf areas should be minimized to reduce water consumption.

All shrub and slope areas shall receive groundcover.

Herbaceous groundcovers shall be planted with triangular spacing at a distance that will typically ensure one-hundred percent (100%) coverage within one (1) year of installation.

All slope landscaping shall conform to the City of Escondido's requirements. Additionally the following requirements shall apply:

1. To accommodate soil moisture gradients on slopes, plants with lower water requirements shall be placed near the top of the slope with higher water usage plants on the lower portion.

SPECIFIC PLAN

2. Groundcover or sprawling shrubs shall be planted on the entire slope.
3. A cover crop shall be utilized on all slopes to provide quick temporary cover until the other plants become more established.
4. Slopes of three (3) feet high to five (5) feet high shall be planted with groundcover and shrubs. Slopes over five (5) feet high shall be planted with groundcover, shrubs and trees. Tree and shrub coverage shall be a minimum of one (1) per one-hundred (100) square feet. Note that this requirement is more stringent than City of Escondido or County of San Diego standards.
5. The concentration of trees and shrubs shall be near the middle and upper portions of the slopes to minimize the impact of rooftops from distant views. Trees may be placed such that long distance views from the residences are maintained from the primary living areas.
6. Plant material is to be arranged on the slope to simulate a contoured and natural land form. Where possible, continue the shrub and tree planting beyond the boundaries of the slope to soften the edges.
7. All slopes shall receive a groundcover planting of flatted material as well as a hydro-seeded planting to ensure immediate coverage and long term stabilization.

3.5.3 Plant Selection Matrices

This section is intended to assist in the selection of plant material to be used throughout the Community. It contains two plant selection matrices; one for trees, and another for shrubs, groundcovers and vines. The plants listed in these matrices fulfill the planting design requirements and identify the specific plant material that may be used to satisfy the landscape requirements defined in the plans and cross sections.

SPECIFIC PLAN

The Tree Selection Matrix divides the trees into four sub-groups: small canopy trees, medium canopy trees, large canopy trees and vertical trees. For each species, the matrix contains detailed information about the character of the tree, including:

- Mature height and spread
- Evergreen or deciduous
- Drought tolerance
- Normal rate of growth.

The matrix also identifies the preferred planting locations, and how the tree should be used. Refer to Table 3-C for Tree Selection Matrix.

The Shrub Selection Matrix follows a similar pattern by first dividing the recommended plants into three groups (shrubs, vines, and groundcover), and then indicates the character of the plant and where and how it should be used to achieve the Planting Design Objectives. Refer to Table 3-D for Shrub Selection Matrix.

For both matrices, a solid dot indicates that the particular plant has either the quality indicated, or that the plant is preferred for the designation. A hollow dot indicates that the plant is acceptable for the indicated use, and the absence of a dot generally means that the plant should not be used for the specified situation.

It is acceptable to occasionally use plants not listed in the matrices, however, listed plants should comprise at least 80% of the area to be landscaped, and 80% of the total list of plants to be used. Limiting the variety of plants is intended to strengthen the overall continuity of the landscaping of the Northeast Gateway SPA.

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Table 3-C Tree Selection Matrix

Plant Name	Common Name	Character										Use										Comments
		Height	Spread	Evergreen	Deciduous	Drought Tolerant	Slow Growing	Approved City Street Tree	City Gateway	Community Edge Street	Community Theme Street	Neighborhood Street	Project Gateway	Interior Slopes	Transitional Slopes	Natural Open Space	Recreational Open Space	Minimum Size at Installation				
Small Canopy Tree																						
<i>Albizia lulibrissin</i>	Silk Tree	25' 35'																15 Gallon	Attractive spreading form, conspicuous flowers			
<i>Cassia leptophylla</i>	Gold Medallion Tree	25' 25'	○															15 Gallon	Showy Flowers - yellow			
<i>Citrus spp.</i>	Citrus	20' 20'																15 Gallon	Fruit Management Required			
<i>Gallera parvifolia</i>	Australian Willow	25' 20'																15 Gallon	Looks like Willow, very tough			
<i>Olea europaea</i>	Olive	25' 25'																15 Gallon	Use Fruitless varieties			
<i>Prunus biteriiana</i>	Purple Leaf Plum	25' 20'																24" Box	Year round interest			
<i>Pyrus calleryana 'Bradfordii'</i>	Bradford Pear	25' 25'																24" Box	Showy Flowers - White			
<i>Tabebuia umbellata</i>	Trumpet Tree	25' 25'	○															15 Gallon	Briefly deciduous, showy flowers			
Medium Canopy Tree																						
<i>Calodendrum capense</i>	Cape Chestnut	35' 40'																15 Gallon	Summer flowers, partly deciduous			
<i>Castanospermum australe</i>	Moreton Bay Chestnut	40' 40'																15 Gallon	Showy Flowers in summer			
<i>Ficus rubiginosa</i>	Rustyleaf Fig	40' 50'																24" Box	Beautiful spreading growth			
<i>Jacaranda mimosifolia</i>	Jacaranda	40' 30'																24" Box	Purple flowers, partly deciduous			
<i>Koelreuteria bipinata</i>	Chinese Flame Tree	35' 30'																15 Gallon	Summer flowers, attractive fall fruit			
<i>Phoenix canariensis</i>	Canary Island Date Palm	40' 25'																20" B. I.	classic S. Calif. Canopy palm			
<i>Pistacia chinensis</i>	Chinese Pistache	40' 35'																15 Gallon	round headed, bright red fall color			
<i>Quercus engelmannii</i>	Englemann Oak	50' 50'																24" Box	native, attractive form			
<i>Quercus suber</i>	Cork Oak	50' 50'																24" Box	very attractive bark			
<i>Schinus molle</i>	California Pepper	40' 40'																15 Gallon	attractive willow foliage, branches to ground			
<i>Tabebuia avellanae</i>	Tabebuia	35' 35'																15 Gallon	showy flowers			
<i>Tipuana flou</i>	Tipu Tree	40' 50'																15 Gallon	showy flowers - yellow, briefly deciduous			
<i>Tristania conferta</i>	Brisbane Box	50' 40'																15 Gallon	attractive coarse foliage			

Table 3-C Tree Selection Matrix (continued)

Botanical Name	Common Name	Height	Spread	Evergreen	Deciduous	Drought Tolerant	Slow Growing	Approved City Street Tree	City Gateway	Community Edge Street	Community Theme Street	Neighborhood Street	Project Gateway	Interior Slopes	Transitional Slopes	Natural Open Space	Recreational Open Space	Minimum Size at Installation	
Large Canopy Tree																			
<i>Cinnamomum camphorum</i>	Camphor Tree	50' 60'	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	24" Box
<i>Ficus macrophylla</i>	Moreton Bay Fig	75' 100'	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	24" Box
<i>Magnolia grandiflora</i>	Evergreen Magnolia	60' 30'	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	15 Gallon
<i>Pinus pinea</i>	Italian Stone Pine	80' 30'	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	24" Box
<i>Platanus acerifolia</i>	London Plane Tree	60' 40'	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	15 Gallon
<i>Platanus racemosa</i>	California Sycamore	90' 50'	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	15 Gallon
<i>Quercus agrifolia</i>	Coast Live Oak	60' 60'	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	24" Box
<i>Ulmus parvifolia 'Drake'</i>	Evergreen Elm	60' 70'	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	15 Gallon
Vertical Tree																			
<i>Cedrus deodara</i>	Deodar Cedar	60' 30'	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	15 Gallon
<i>Cupressus sempervirens</i>	Italian Cypress	50' 10'	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	15 Gallon
<i>Pinus canariensis</i>	Canary Island Pine	75' 20'	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	15 Gallon
<i>Pinus halepensis</i>	Aleppo Pine	60' 40'	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	15 Gallon
<i>Populus nigra 'Italica'</i>	Lombardy Poplar	75' 15'	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	15 Gallon
<i>Washingtonia filifera</i>	California Fan Palm	40' 10'	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	20' B.T.
<i>Washingtonia robusta</i>	Mexican Fan Palm	60' 10'	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	20' B.T.

Palm sizes are 20' B.T. = 20' Brown Trunk Height

● Preferred Use

○ Acceptable Use

Final selection of trees in Public Rights-of-Way shall be subject to approval by City of Escondido.

All final Landscape Plans shall be reviewed by a biologist to ensure that no invasive species adversely impact open space areas, prior to approval by

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Table 3-D Shrub Selection Matrix

Botanical Name	Common Name	How to Use	Where to Use	Comments
Plant Name				
Shrubs				
		As Specimen Screen Physical Barrier Clipped Hedge Loose Hedge Ground Cover Mass Trellis or Arbor On Walls and Fences Community Gateway Community Edge Street Community Theme Street Neighborhood Street Project Gateway Interior Slopes Transitional Slopes Natural Open Space Recreational Open Space Residential Lots		Minimum Size at Installation
Acacia spp.	Acacia			1 Gallon
Agave spp.	Agave			5 Gallon
Aloe spp.	Aloe			1 Gallon
Arbutus unedo	Strawberry Tree			15 Gallon
Arcostaphylos spp.	Manzanita			5 Gallon
Baccharis pilularis	Prostrate Coyote Bush			1 Gallon
Buxus spp.	Boxwood			5 Gallon
Caesalpinia mexicana	Mexican Bird of Paradise			5 Gallon
Calliandra inaequilatera	Powder Puff			5 Gallon
Camellia spp.	Camellia			5 Gallon
Ceanothus spp.	Ceanothus			5 Gallon
Chamaerops humilis	Mediterranean Fan Palm			15 Gallon
Cistus spp.	Rockrose			1 Gallon
Dodonaea viscosa	Hop Bush			5 Gallon
Eriogonum spp.	Buckwheat			1 Gallon
Eugenia myrtifolia	Eugenia			5 Gallon
Fremontodendron spp.	Flannel Bush			5 Gallon
Gardenia spp.	Gardenia			5 Gallon
Heterometes arbutifolia	Toyon			5 Gallon
Hibiscus rose-sinensis	Hibiscus			5 Gallon
Lantana spp.	Lantana			5 Gallon
Ligustrum japonica	Texas Privet			5 Gallon
Miscanthus sinensis	Etiolia Grass			5 Gallon
Muraya paniculata	Orange Jessamine			5 Gallon
Myoporum parvifolium	Prostrate Myoporum			5 Gallon
Nandina domestica	Heavenly Bamboo			5 Gallon
Nerium oleander	Oleander			5 Gallon
Philodendron selloum	Cut Leaf Philodendron			5 Gallon
Phoenix roebelenii	Pygmy Date Palm			15 Gallon
Phoridium tenax	New Zealand Flax			5 Gallon
Photinia spp.	Photinia			5 Gallon

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REGULATIONS AND PROCEDURES

Table 3-D Shrub Selection Matrix (continued)

Plant Name	Common Name	How to Use								Where to Use								Comments					
		As Specimen	Screen	Physical Barrier	Clipped Hedge	Loose Hedge	Ground Cover Mass	Trellis or Arbor	On Walls and Fences	Community Gateway	Community Edge Street	Community Theme Street	Neighborhood Street	Project Gateway	Interior Slopes	Transitional Slopes	Natural Open Space		Recreational Open Space	Residential Lots			
	<i>Botanical Name</i>																						
	<i>Pithecolobium tobira</i>																						5 Gallon
	<i>Pithecolobium tobira 'variegata'</i>																						5 Gallon
	<i>Pithecolobium undulatum</i>																						5 Gallon
	<i>Plumbago capensis</i>																						5 Gallon
	<i>Prunus spp.</i>																						5 Gallon
	<i>Rhamnus spp.</i>																						5 Gallon
	<i>Punica granatum</i>																						5 Gallon
	<i>Rhaphiobotrys spp.</i>																						5 Gallon
	<i>Rhus spp.</i>																						5 Gallon
	<i>Rosa spp.</i>																						5 Gallon
	<i>Santolina spp.</i>																						1 Gallon
	<i>Salvia spp.</i>																						1 Gallon
	<i>Strelitzia nicotina</i>																						15 Gallon
	<i>Strelitzia reginae</i>																						5 Gallon
	<i>Tecoma stans</i>																						5 Gallon
	<i>Tecomaria capensis</i>																						5 Gallon
	<i>Thevetia thevetioides</i>																						5 Gallon
	<i>Trachelospermum jasminoides</i>																						1 Gallon
	<i>Viburnum spp.</i>																						5 Gallon
	<i>Xylosma cordatum</i>																						5 Gallon
	<i>Yucca whipplei</i>																						5 Gallon
	Vines																						
	<i>Bougainvillea spp.</i>																						5 Gallon
	<i>Clematis spp.</i>																						5 Gallon
	<i>Chytostoma callistegioides</i>																						5 Gallon
	<i>Dioscorea buccinatoria</i>																						5 Gallon
	<i>Ficus pumila</i>																						1 Gallon
	<i>Hedera spp.</i>																						1 Gallon
	<i>Macfadyena unguis-cati</i>																						5 Gallon
	<i>Mandevilla spp.</i>																						5 Gallon
	<i>Parthenocissus tricuspidata</i>																						1 Gallon

Table 3-D Shrub Selection Matrix (continued)

Plant Name	Common Name	How to Use											Where to Use							Comments					
		As Specimen	Screen	Physical Barrier	Clipped Hedge	Loose Hedge	Ground Cover Mass	Trellis or Arbor	On Walls and Fences	Community Gateway	Community Edge Street	Community Theme Street	Neighborhood Street	Project Gateway	Interior Slopes	Transitional Slopes	Natural Open Space	Recreational Open Space	Residential Lots						
<i>Rosa banksiae</i>	Lady Bank's Rose																							5 Gallon	
<i>Rosa floribunda</i>	Climbing Rose																								5 Gallon
<i>Vitis vinifera</i>	Grape																								1 Gallon
<i>Wisteria floribunda</i>	Japanese Wisteria																								5 Gallon
Grasses and Groundcovers																									
<i>Agapanthus africanus</i>	Lily of the Nile																								1 Gallon
<i>Gazania</i> spp.	Gazania																								Flats
<i>Hedera</i> spp.	Ivy																								Flats
<i>Hemerocallis</i> spp.	Daylily																								1 Gallon
<i>Lavandula</i> spp.	Lavender																								1 Gallon
<i>Limnium perzli</i>	Sea Lavender																								1 Gallon
<i>Lilium</i> spp.	Lily Turf																								1 Gallon
<i>Pennisetum setaceum</i>	Fountain Grass																								1 Gallon
<i>Phalaris arundinacea picta</i>	Ribbon Grass																								1 Gallon
<i>Rosmarinus officinalis</i>	Rosemary																								1 Gallon
<i>Vinca major</i>	Periwinkle																								Flats
Turfgrass																									Seeded

Selection of Shrubs in Public Right of Way shall be subject to City of Escondido approval.
All final Landscape Plans shall be reviewed by a biologist to ensure that no invasive species adversely impact open space areas, prior to approval by the

SPECIFIC PLAN**3.5.4 Pedestrian Paving Guidelines**

These guidelines for pedestrian pavements apply to all paved areas intended for use by pedestrians, including areas to be used by both pedestrians and vehicles. Pedestrian pavements may include, but are not necessarily limited to: sidewalks, paths, walkways, courtyards and plazas.

Desirable qualities of pedestrian paving surfaces:

- A surface texture rough enough to prevent slipping, but smooth enough to prevent stumbling.
- Maintenance free
- Stain resistant
- Fade resistant
- Non-reflective

Acceptable pedestrian paving materials

- Concrete: broom finished, washed finish, sand blasted
- Colored concrete
- Stamped and saw-cut concrete, provided the pattern does not have joints or score lines that catch heels or cause tripping.
- Unit pavers, including brick, stone, concrete and tile

The use of these materials must be approved by the City of Escondido.

Pedestrian paving surfaces which may be used in situations where the limitations of the material have been considered include:

- Decomposed granite (not suitable for use where disabled access should be provided)
- Loose gravel (not suitable for use where disabled access should be provided, or where heavy pedestrian traffic can be expected)
- White, or very light colored paving (not suitable where glare from the surface will affect pedestrian or vehicular safety)
- Asphalt

The use of these materials must be approved by the City of Escondido.

Unacceptable pedestrian paving surfaces include

- Stamped concrete or unit pavers with deep, rounded joints, or score lines and joints that are wider than one quarter inch (1/4")
- Turf block

The surface of walks should be stable and firm, relatively smooth in texture and have a non-slip quality. The recommended paving material is concrete with a broom finish, the brush strokes shall be perpendicular to the primary direction of travel. No rock salt finishes will be allowed.

SPECIFIC PLAN

Expansion joints in walkways and concrete mow curbs shall be located a maximum of twenty-four (24) feet on center and wherever the paving abuts a vertical surface. Expansion joints shall be one-half (1/2) inch wide and the same depth as the paving. Fillers of expansion joints shall be one-half (1/2) pre-molded felt strip, recessed one-eighth (1/8) inch below the surface of the concrete. The joint sealing compound shall be a non-shrink latex rubber material.

Control joints shall be located a maximum of twelve (12) feet on center. The control joint shall be one-eighth (1/8) inch wide and two (2) inches deep.

Score joints shall be located a maximum of six (6) feet on center. Score joints shall be one-eighth (1/8) inch wide and one-quarter (1/4) inch deep.

All concrete paving in general use areas shall be three and one-half (3-1/2) inches thick and reinforced with welded wire mesh.

Color

The color for all walkways and other concrete paving shall be natural gray.

Gradients

Pedestrian walkways shall be constructed per City of Escondido standards.

Walkways shall have a cross pitch per City of Escondido standards to allow for drainage.

Curb Cuts

Curb cuts shall be provided where there is a change in grade from the street to the sidewalk. Grade changes shall not occur between the walkway and the building. The surface of the curb cut shall be non-slip and have a maximum gradient of seventeen (17) percent.

Walkway Widths

All public sidewalks shall be five (5) feet wide and may or may not be contiguous to the curb. Refer to Exhibits 2-3a and 2-3b for specific conditions.

SPECIFIC PLAN**3.5.5 Trail Guidelines and Standards**

A requirement of this project is the incorporation of a trail system linking off-site resources. The trails will consist of a combination of pathways and concrete walkways that will allow the user to travel the entire length of the SPA.

Some of the following guidelines are excerpted from the City of Escondido's Master Plan for Parks, Trails and Open Space. It should be noted that these standards are intended primarily for rural trail segments. Urban trails are technically sidewalks, subject to Chapter 23 of the Escondido Municipal Code.

Location and Alignment

Location and layout work for the trails shall not begin within the designated Hillside Open Space areas until all environmental assessment is completed.

Normally, trail alignment shall follow the contours of the land and consist of a series of gently sweeping long curves. Long straight stretches and sharp angular turns shall be avoided as much as possible.

Trail Grade and Construction

Location of the trail grade-line is the most important element of trail development as the grade-line influences the length of trail, level of difficulty, and drainage and maintenance requirements.

A slight downhill grade is necessary for crossing drainages and to provide grade undulations for drainage purposes.

Vertical Grade

0-5% optimum

5-10% maximum for distances over 500'

10-15% maximum for distances limited to 250'

15-20% maximum for short distances under 100'

Switch Backs

Switch back may be required in areas as a special condition.

Cross Sections

1-4% optimum

6% maximum in approved locations only

SPECIFIC PLAN**Drainage**

Avoid erosion by proper grading and the use of diversionary devices such as water bars and berms.

Culverts

When trails cross over water, paved pathways, culverts or stream fords shall be required.

Trailway Excavation

Trail routes have the potential of traversing a variety of different degrees of slopes.

Side Slope Cuts and Fills

2:1 maximum – slopes shall be compacted to prevent erosion. Rock retaining walls will be necessary if the slope is not compacted or exceeds 2:1.

Pedestrian Trail and Bike Path Surface

Excavate to 6" depth, apply City surface approved soil sterilant and install asphalt paving with thickened edge and compact afterwards. A 2x6 redwood header or compacted earth shall be utilized for containment. Refer to City Standard Details.

Trail Widths

The designated Urban Trail adjacent to the Escondido Creek Channel shall be ten (10) feet wide.

The Rural Trail in the Open Space east of PA 1 and PA2 shall be four (4) feet wide.

Trail Signage

Trail Signage shall be developed per the City of Escondido's Master Plan for Parks, Trails and Open Space.

3.5.6 Landscape Wall and Fence Guidelines and Standards**General Guidelines:**

Use walls and fences for security, visual screening, and aesthetic purposes

Ensure that walls and fences are consistent with the architecture of the adjacent building in terms of material, color and form.

Avoid walls which feature long, unarticulated surfaces. Use pilasters, height variation, setback variation, landscaping, and surface texture to vary the wall surface.

SPECIFIC PLAN

Provide walls and fences that are of the following preferred materials: masonry, wrought iron and painted steel tubing. Wood and uncoated chain link fences shall not be used in public view. Coated fences can be used in public view if a dense landscape buffer is in front of the fence, or if vines are planted on the fence.

Prohibit walls from encroaching into areas needed for safe sight-distance.

Prohibit walls and fences greater than thirty six inches (36") in height within the required setbacks adjacent to public streets.

1. Community Walls and Fences

Walls shall be a minimum of five (5) feet high constructed of concrete masonry. Walls shall be painted with the Community color. Tubular steel fencing may be utilized in conjunction with a low wall to preserve views or for additional openness.

Pilasters may be utilized to break up and enhance long stretches of wall, at corners of property lines, and wherever a change of direction in wall is desired.

Wood fencing may be utilized in areas not in public view, and/or between residential units to define side yards. Wood fencing shall be a minimum of five feet (5') high, and shall be stained to match community fencing color. Wood gates shall match the fence in design.

Tubular steel fencing may be used where openness is desired, or views shall be preserved. Tubular steel fencing shall be a minimum of five feet (5') high. Tubular steel gates shall match the fence in design. All fencing shall be pre-galvanized material inside and out and shall receive one (1) coat of primer and two (2) coats of oil base enamel paint. Paint color shall match community metal fencing color.

3.5.7 Irrigation Guidelines and Standards

The intent of the irrigation guidelines and standards is to provide for adequate irrigation coverage while efficiently conserving water.

General Guidelines

Irrigate all permanently landscaped or required landscape areas with a permanent, underground irrigation system that is operated by an automatic irrigation controller.

Irrigate turf areas with low gallon spray heads with a minimum six inch (6") pop up body.

Use triangular spacing of spray heads in turf areas whenever feasible.

Irrigate shrub areas with low gallon spray heads. When appropriate, drip irrigation may be provided in shrub areas.

Utilize spray heads with a six inch (6") or twelve inch (12") pop up body for shrub areas adjacent to walkways, curbs, driveways, or other paved surfaces.

Irrigate at night and early morning to reduce evaporation due to sun and wind.

Apply irrigation water in multiple short applications to reduce runoff onto areas not requiring irrigation.

Ensure that irrigation water is not applied to walks, driveways, walls, fences and building faces.

Provide methods of retaining irrigation runoff water on site; it should not flow onto other property or the public right-of-way.

Provide approved backflow preventers on all systems.

Screen from public view all irrigation equipment including backflow preventers and controller boxes.

Install automatic valves in valve boxes, and use pop-up spray heads, whenever feasible.

Pressure within the lateral piping circuits shall not exceed twenty percent (20%) of the designed operating pressure of the equipment on that circuit.

Pressure regulating devices shall be used on any system with a static inlet pressure at the point of connection greater than eighty (80) psi.

Irrigation system piping shall be sized such that velocities remain below five feet per second (5 fps) in metal pipe and six feet per second (6 fps) in PVC pipe.

Any irrigation equipment located within twenty-four inches (24") of pedestrian and vehicular use areas shall be located entirely below grade.

SPECIFIC PLAN

All pipe and wire under paving shall be installed in PVC Schedule 40 sleeves, twice the diameter of the pipe, or wire, with a minimum two inch (2") size.

1. Automatic Systems

Electrical services for the irrigation system controller shall be indicated and referenced on the irrigation plans.

Automatic control systems shall be capable of accommodating all aspects of the design, including multiple schedules, repeat cycles and moisture sensing override devices as required by the City of Escondido.

All automatically controlled irrigation systems shall be adjustable seasonally and as weather and plant conditions warrant.

Each circuit shall be capable of meeting the minimum needs of the mature plant material during peak demands within a weekly irrigation schedule.

The controller units shall be enclosed in secure, weather and vandal resistant, locking housings manufactured expressly for that purpose. The controller cabinets shall not be installed within an irrigation spray pattern.

2. Temporary Systems

All temporary systems shall operate for a twenty-four (24) month period. The amount of irrigation shall be reduced by one-half (1/2) from the first year to the second year. The amount of irrigation must be warranted by on-site observations.

On-grade piping systems shall not be allowed where subject to adjacent pedestrian traffic or vandalism.

All on-grade lines shall be secured to the slope every ten feet (10') or less. The ends of all laterals shall also be staked.

3. Overhead Spray Systems

Spray heads on the same lateral circuit shall be balanced for matched precipitation rates within five percent (5%) of the average.

Specially designed adjustable nozzles shall be used for odd shaped areas, while still maintaining even application rates.

All heads located within twenty-four inches (24") of pedestrian and vehicular use areas shall be pop-up type.

Pop-up heads shall be installed with swing joints or other flexible assemblies.

4. Drip System

Drip systems shall be designed for the mature size of the plant material to be irrigated, including the eventual rooting pattern. All necessary equipment for mature plant size irrigation shall be installed initially. Future outlets for tubing shall be capped until needed.

All drip systems shall be capable of flushing out accumulated particulate matter without causing erosion or disruption to the surrounding landscape. Direct flows to adjacent drainage structures where possible.

All drip systems shall be adequately filtered and regulated and all components shall be non-corrosive materials.

Separate emitters shall be of self-flushing, pressure compensating design. Flow rates shall be designed so that there is a maximum emission rate differential of no more than five percent (5%) along the entire length of tubing.

The design of drip systems shall provide balanced water supply to plant materials of different sizes irrigated by a common lateral line.

All drip system pressure mainline and non-pressure lateral lines shall be PVC. Only short secondary laterals shall be polyethylene tubing.

SPECIFIC PLAN**3.5.8 Landscape Maintenance Guidelines and Standards**

In general, landscape maintenance will be required to:

- Maintain all landscape materials, including trees, shrubs, groundcovers, and vines in a healthy condition at all times.
- Remove damaged, dead or diseased plant material promptly and replace it with plant that match the original design intent in terms of size, location and variety.
- Remove overgrown, oversized, or hazardous plant materials when they cannot be pruned to a safe condition and threaten public health, safety or welfare.
- Prepare and show on landscape plans, maintenance specifications describing the irrigation, pruning, weeding, fertilizer application and other pertinent maintenance criteria for all landscaped areas.

Special Conditions

The Northeast Gateway SPA incorporates several landscape elements that will require intensive upkeep. The most extensive element is the enhanced setbacks along both sides of East Valley Parkway and East Washington Avenue. As these setbacks are adjacent to and associated with a General Plan-element prime arterial and major road, respectively, the most effective way to ensure adequate upkeep is to utilize a Lighting and Landscape Maintenance District (LLMD).

Maintenance of the drainage basins and channels will be a responsibility of the homeowners' association established for the respective development. Standards for the maintenance of these drainage and water quality features will be established at the time of the tentative map for the respective project, as the tentative map will determine the final sizing of the features.

SPECIFIC PLAN**3.6 ARCHITECTURAL DESIGN GUIDELINES**

The architectural guidelines are drawn mainly from City standards and augmented with requirements that seek to create a sense of community through careful product design. The architectural guidelines are intended to maintain and enhance a "sense of place" by ensuring that future residential product types, regardless of specific design, reflect the rural, agricultural heritage of the area. This approach respects the heritage of the area while providing enough flexibility in product type to meet market demand now and in the future.

3.6.1 General Design Concepts

In accordance with the Escondido General Plan, residential development within the Northeast Gateway is proposed to meet the needs of middle and upper-income families. Future development within Northeast Gateway will consist of a mix of one and two-story homes incorporating design elements found in traditional, older neighborhoods, using natural building materials.

3.6.2 Architectural Style and Building Materials

Although housing products, lot sizes and sales prices may vary, it is intended that final architectural styles of future Northeast Gateway developments will reflect many of the characteristics found in older residential communities. In addition, to blend with the natural environment and preserve the character of the Northeast Gateway SPA, building accent materials and facades should include a mix of wood, stone, and other natural materials.

The architectural styles of "Craftsman Bungalow", "California Country" and "California Cottage" generally embody the desired characteristics for new home design in the Northeast Gateway. These architectural styles contain elements which are encouraged to be used in the design of Northeast Gateway homes. These styles and their characteristic elements are described below and illustrated in Exhibits 3-17, 3-18 and 3-19.

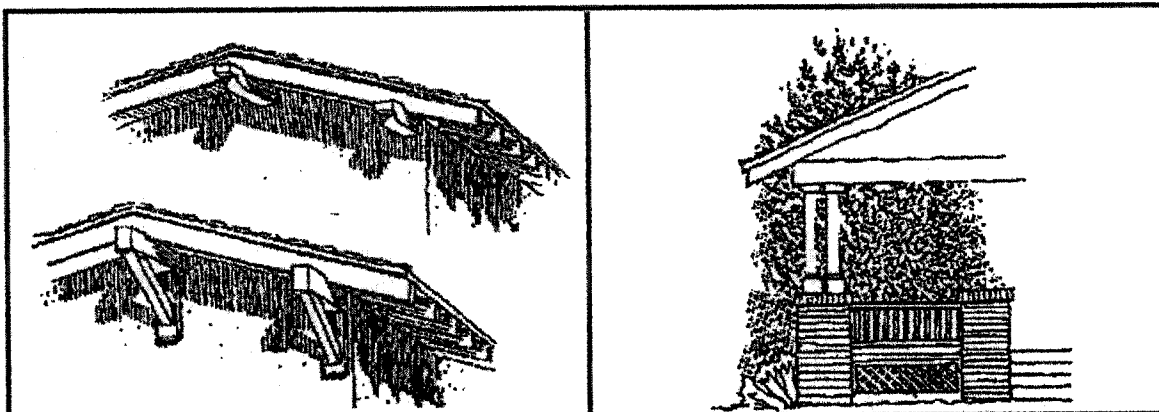
The Craftsman Bungalow architectural style features shallow-pitched roofs of flat tile with exterior walls of stucco, brick, stone and wood and/or simulated wood of varying patterns. Roof dormers are flat or pitched, and large roof overhangs with exposed beam ends are commonly used. Windows and doors are generally trimmed in wood. Sloped (battered) pedestals and walls, paired columns, and stone exterior chimneys are distinguishing features. Trellis structures and pergolas are also commonly used. The southern California adaptations of this style

SPECIFIC PLAN

were inspired by the work of Greene and Greene in Pasadena, as well as the Craftsman movement of the 1920's.

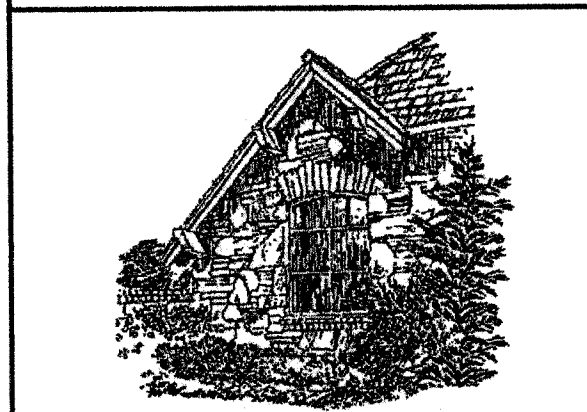
The California Country architectural style features steep roofs with multiple pitches. A key feature is the use of various types of dormers within the framework of the steeper roofs. Roof materials are flat tiles and slate shingles. Walls are generally made of stucco, with accents of brick, stone, and wood. Lowered eaves and bay windows are also commonly used. This eclectic style was derived from the English and French country houses which were popularized in the United States during the 1920's and 30's.

The California Cottage architectural style is an adaptation of the Eastern seaboard cottage and was developed to suit the climate and lifestyle of southern California. This style is generally characterized by steep, multiple-pitched roofs with shingles. Shallower pitch roofs are commonly used for porches and outbuildings. Exterior walls are typically made of synthetic fire-resistant siding that emulates wood, with various types of corner boards and wood trim. Common elements are shutters, trellis structures and flower boxes. European elements may be used in building designs provided they are adapted to California architecture.

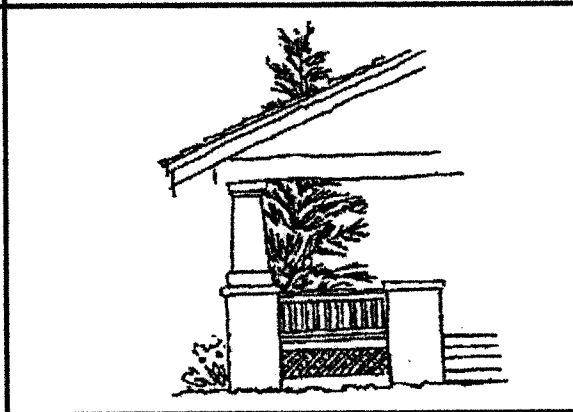


TRIANGULAR KNEE BRACES AND DECORATIVE ROOF BEAMS

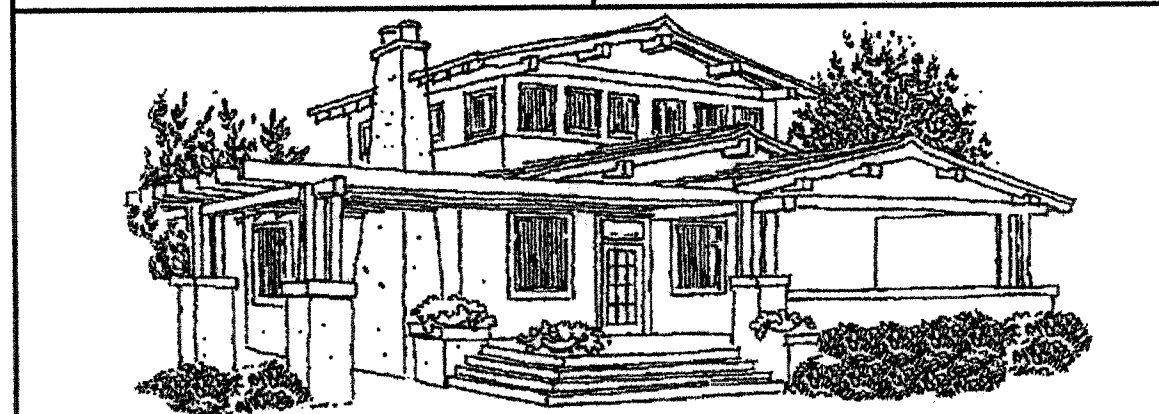
TYPICAL PORCH SUPPORTS



MULTI-PANED WINDOWS



LOW PIERS WITHOUT COLUMNS ARE COMMON



TRELLISED PORCH OR PORTE COCHERE ROOF

Exhibit 3-17

SPECIFIC PLANNING AREA 5 –
NORTHEAST GATEWAY

CRAFTSMAN BUNGALOW
ARCHITECTURAL ELEMENTS

ESCONDIDO, CA

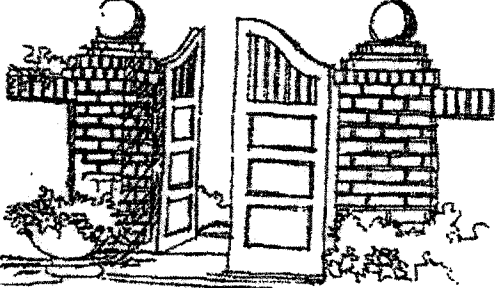


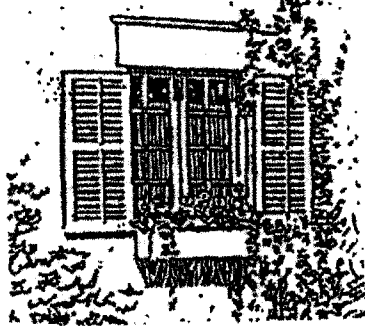
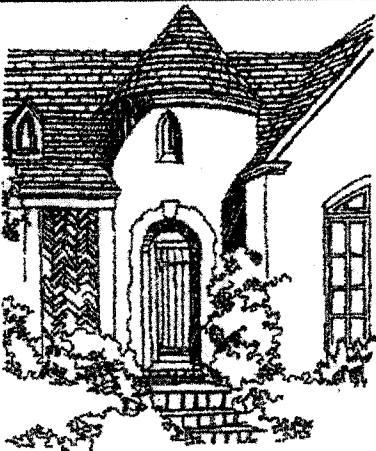
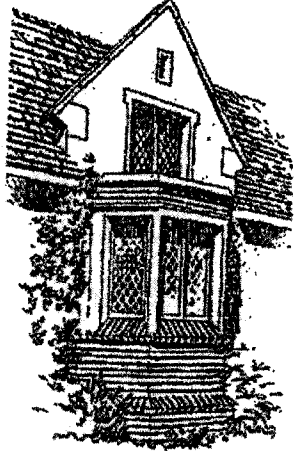
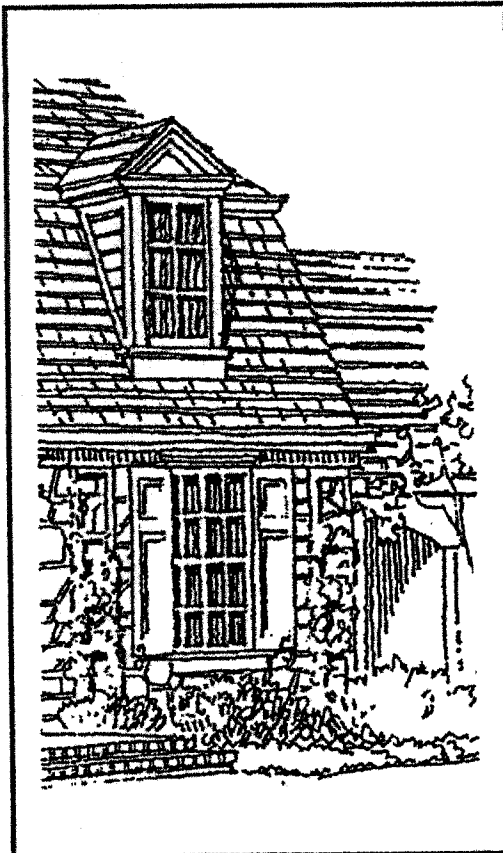
	
<p>MASONRY/WOOD COMBINATIONS</p>	<p>MASONRY DOOR SURROUNDS</p>
	
<p>DORMERS</p>	<p>WINDOW BOXES</p>
	
<p>MULTIPLE PITCHED ROOFS</p>	<p>BAY WINDOWS</p>

Exhibit 3-18

**SPECIFIC PLANNING AREA 5 –
NORTHEAST GATEWAY**

**CALIFORNIA COUNTRY
ARCHITECTURAL ELEMENTS**

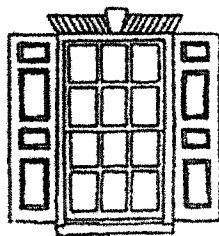
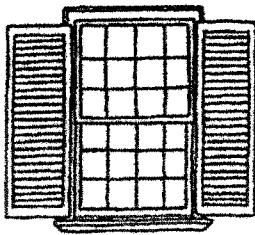
ESCONDIDO, CA



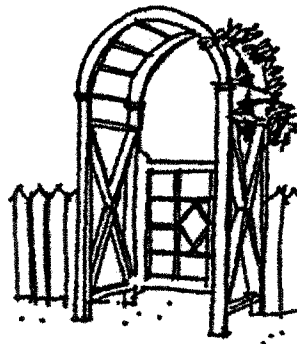
SECOND STORY WINDOW DORMERS



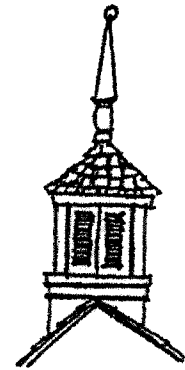
ELABORATE TRELLIS TREATMENTS



SHUTTER TREATMENTS



LATTICE WORK ARBOR



CUPOLA

Exhibit 3-19

SPECIFIC PLANNING AREA 5 –
NORTHEAST GATEWAY

CALIFORNIA COTTAGE
ARCHITECTURAL ELEMENTS

ESCONDIDO, CA

SPECIFIC PLAN**3.6.3 Color**

The color palette should reflect and blend with the natural setting. Colors should not be bright, reflective, metallic, or otherwise visually out of character with the natural setting. Wall colors should be predominantly soft earth tones such as beige, browns, greens, or sandy hues. Pastels, such as pink, salmon, and mauve, as well as pure whites shall be avoided. Roof colors may vary, but bright blue and orange tiles would conflict with the natural setting and are therefore not permitted. Bright colors may be used on trim and detail work.

3.6.4 Development Standards

The following Development Standards are designed with the goal of creating and maintaining an aesthetically pleasing, harmonious community with attractive and livable neighborhoods.

A. Development Pattern and Building Orientation

1. At least 20% of the residential units in any development shall be one-story. At least 33% of the two-story units shall have a one-story element that is 40% or greater of the front elevation width, as illustrated in Exhibit 3-20. The minimum depth of this element shall be 3'.
2. In any development where there are three two-story units in a row, at least one of the three units shall have a one-story building edge. The roof covering the one-story element shall be substantially lower than the roof for the two-story element, as illustrated in Exhibit 3-21.
3. Long, unbroken faces without offset shall be minimized. Offsets and articulation of building mass should reflect the organization of the floor plans and should not be merely façade treatments.
4. Reverse building plans should be employed to add building articulation.
5. Front yards should be designed with porches and patios to create livable, usable front yards that are an extension of the home and a place to socialize. French doors that open to the front porch or patio

are encouraged in order to integrate the indoor and outdoor spaces.

6. All homes shall be designed with careful attention to the placement of the garage. Garages shall not be the predominant feature of the streetscape in any area of the Northeast Gateway. Rather than having the garage and automobile dominate the fronts of homes, the garages should be placed at a variety of locations on the lots and should include design features that de-emphasize their appearance. To minimize the linear amount of garage doors facing the street and avoid the typical three-car garage appearance, tandem and split garage layouts for the third car are encouraged. Recessed, turn-in and drive-through garage layouts are also encouraged in order to de-emphasize the appearance of the garages from the street. Garages placed in the middle, or to the rear of the lot are also encouraged. The width of driveways on lots with garages placed in the middle or to the rear of the lot can be reduced, allowing for larger front porches and more landscaping in the front yard. Grass mow-strips in the driveways are encouraged in order to add character and appeal. Single-car garage doors on the front elevation are encouraged in order to add texture and variety to the architecture and avoid the typical garage appearance. These design features will allow for more livable front yards and more usable front porches. Recessive colors should be used on the garages in order to de-emphasize their appearance. Garages that are placed forward on the lot with straight-in access are discouraged.

To de-emphasize the appearance of garages from the street view, the following standards shall be applied in all Planning Areas of the SPA:

- a. A combined maximum of 20% of the units may have a garage that shares the same plane as the front elevation or projects beyond the front elevation.
- b. A combined minimum of 80% of the units shall have a recessed plane change of a minimum of

SPECIFIC PLAN

3' from the remainder of the front elevation or be side-loaded.

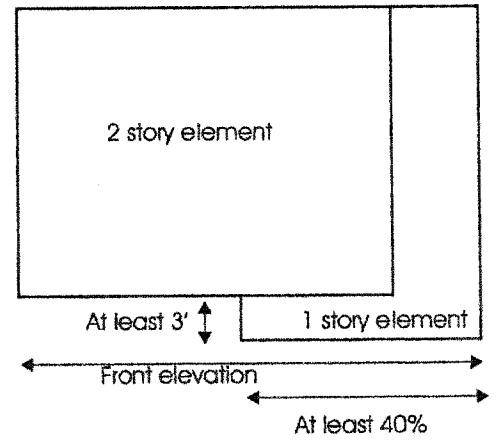
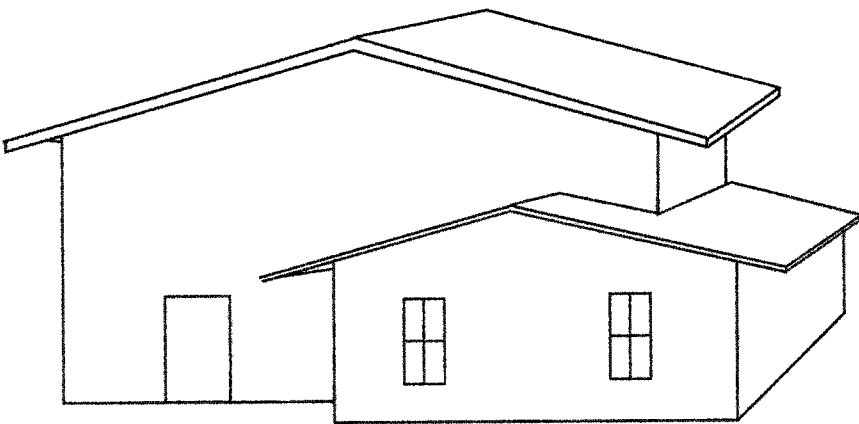
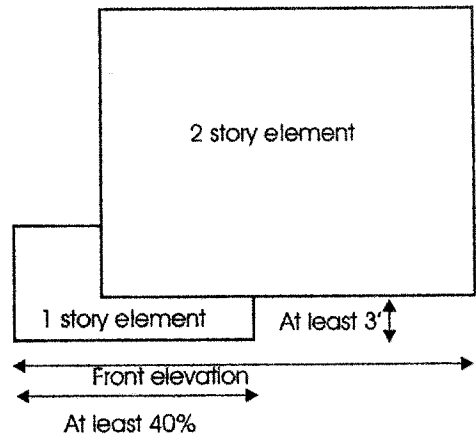
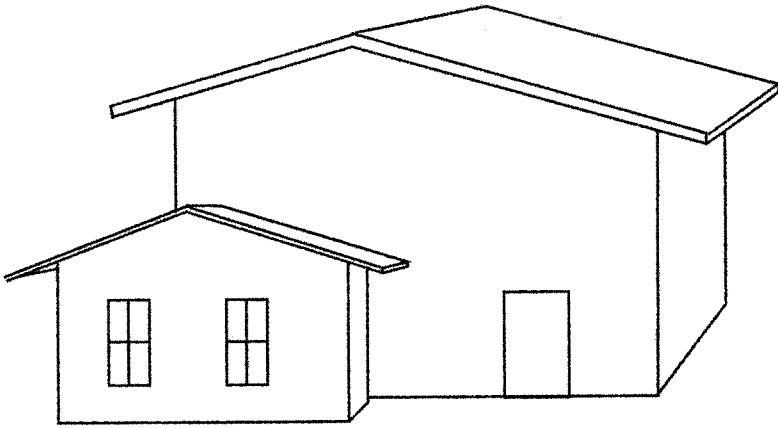
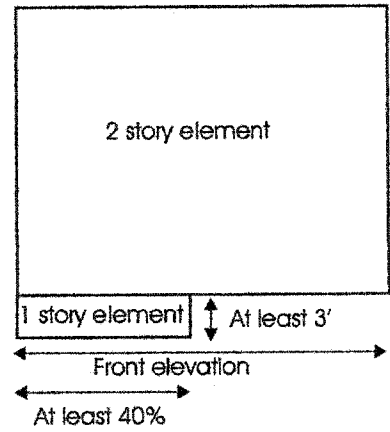
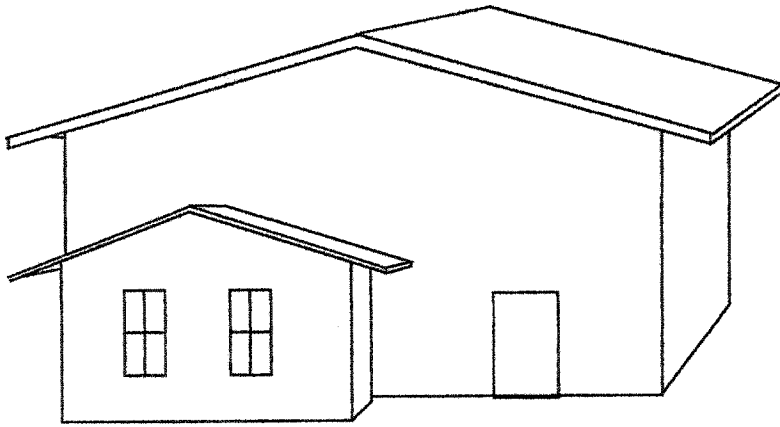
- i. Deeply recessed (5' minimum plane change) and detached garages are encouraged where feasible (see Exhibit 3-22).
- ii. The street-facing elevation of side-loaded garages must be given the same high-quality architectural treatment as the remainder of the unit.

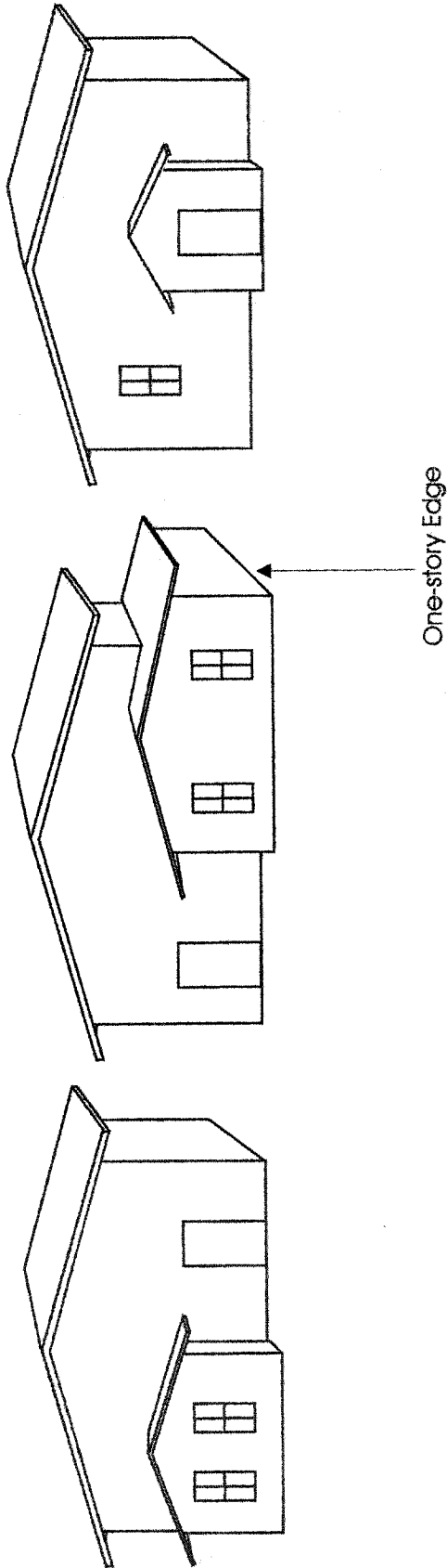
B. Architectural Standards for Residential Units

1. Exterior Building Materials

All residential structures within the Northeast Gateway shall incorporate natural building materials into their architectural elements to promote a harmonious blending with the existing scenic backdrop of the area. Specifics are listed below and examples are illustrated in Exhibit 3-23.

- a. Wall surface enhancement materials may include wood, brick, tile, glass block, river rock, and appropriate stone.
- b. Exterior plaster or stucco may also be utilized to accent the wall surface material, or as a primary wall surface provided it incorporates wall accent materials.





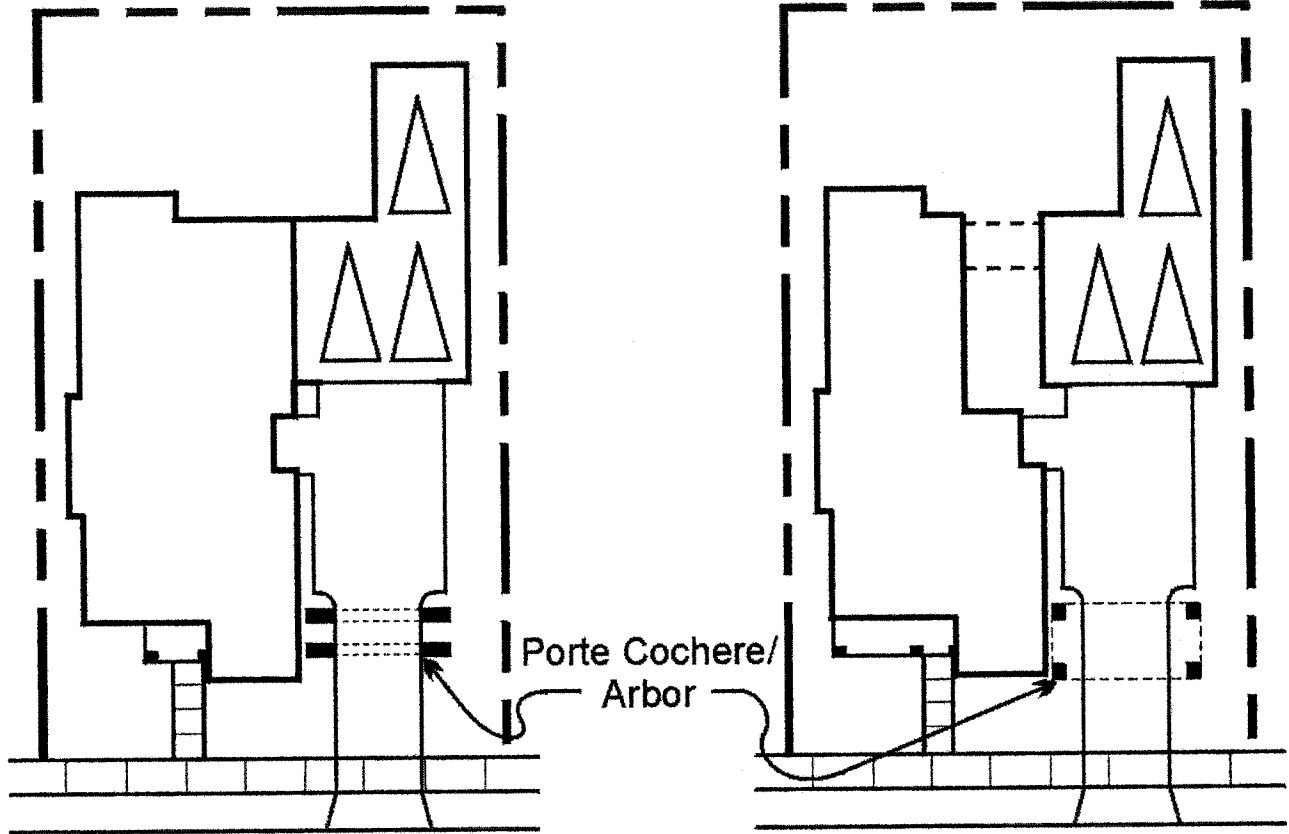
**SPECIFIC PLANNING AREA 5 –
NORTHEAST GATEWAY**

ESCONDIDO, CA

Exhibit 3-21

ONE-STORY EDGE

Deeply Recessed Garages



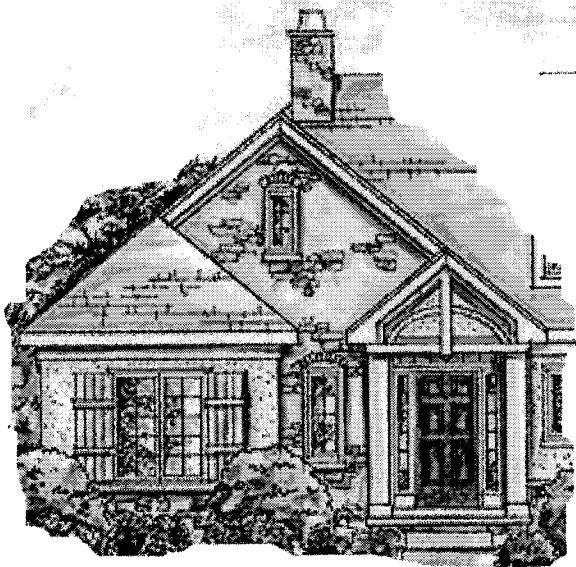
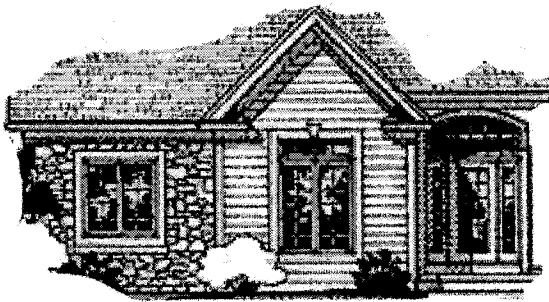
Attached

Detached

Porte Cochere/
Arbor

Exhibit 3-22

Wood and Stone



Stucco and Stone

Brick and Stone



Exhibit 3-23

SPECIFIC PLANNING AREA 5 –
NORTHEAST GATEWAY

EXTERIOR BUILDING MATERIALS

ESCONDIDO, CA

2. Front Building Elevations

Front building facades shall incorporate a minimum of four varieties of design elements to create character and interest to the home. These elements may vary depending on the architectural style used. Examples of such elements include:

- a. A variety of roof planes
- b. Windows and doors recessed a minimum of 2 inches or trimmed with wood or another similarly raised accent material.
- c. Paned windows and doors
- d. Exposed roof beams or rafter tails
- e. Decorative window ledges
- f. Window and door lintels
- g. Dormers
- h. Accent and varied shape windows
- i. Window boxes and planters with architecturally evident supports
- j. Variations in colors of accent materials
- k. Covered balconies
- l. Arched elements
- m. Shutters

3. Side and Rear Elevations

Side and rear elevations shall include enhanced architectural detailing incorporating elements of good design, such as described in the preceding section for front building facades. The use of a

minimum of two of the architectural elements listed above is required .

4. Window Detailing

The design of windows shall include one or more of the following features:

- a. Windows recessed a minimum of 2 inches or trimmed with wood or another similarly raised accent material.
- b. Paned windows
- c. Decorative window ledges
- d. Window lintels
- e. Accent and varied shape windows
- f. Window boxes and planters with architecturally evident supports
- g. Exterior wood trim surrounds less than 2 inches in depth. This is a separate treatment from (a) above.
- h. Accent colors on shutters or other elements
- i. Arched elements

C. Architectural Standards for Accessory Structures

1. Patio sun shades, arbors, and trellis structures shall be of wood construction only, with the exception of vertical supports which may be of stucco or masonry. No aluminum, metal, plastic, fiberglass, cloth, composition shingle, or tile may be used. Patio covers shall not exceed the maximum height of 12 feet.
2. Structures must be stained or painted to match or be complementary with colors used for the residential dwelling.

SPECIFIC PLAN

3. Detached accessory structures must be: (a) open structures, such as trellises and gazebos; (b) enclosed structures such as tool sheds or tool barns; (c) located in rear yards only (or in side yards of oversize or flag lots); (d) shall be set back 5 feet minimum; (e) have a maximum square footage not to exceed 150 square feet or 1.5 percent of the area of the particular lot, whichever is greater; and (f) a maximum height of 12 feet. Detached accessory structures that adversely impact neighboring lots are not allowed. No detached accessory structure shall be used at any time, temporarily or permanently for human occupancy.
4. Attached accessory structure must: (a) be open structures only, such as trellises (enclosed accessory structures shall not be permitted except on oversized or flag lots); (b) not extend more than 12 feet into the rear yard; (c) not extend beyond the edge of the building to which it is attached; (d) have a maximum height of 12 feet; and (e) be setback 5 feet minimum.
5. For pools, spas, and hot tubs, all accessory equipment shall (a) be screened from the view of any adjoining lot and from the public view from any public or private street or common areas, with acceptable fence or wall material; (b) be located and sound attenuated in compliance with local codes; (c) set back a minimum of 5 feet from rear and side property lines; and (d) conform to all laws and regulations of public agencies having jurisdiction.

Gas fired heaters shall be stackless or low profile in configuration.

D. Residential Lot Standards

The following are the setbacks for the siting of homes within the Northeast Gateway. These setback requirements shall be applied to any additions or modifications to existing structures:

SPECIFIC PLAN

1. Front Yard Setbacks for Lots 8,000 Square Feet and Larger: 15 feet minimum to habitable portion of structure.

Front Yard Setbacks for Lots Less than 8,000 Square Feet: 10 feet minimum to habitable portion of structure.

2. Side Yard Setbacks

- a. 5 feet minimum to house.
- b. 10 feet minimum to house on street side of corner lots.
- c. 20 feet minimum between houses for lots exceeding 10,000 sq. ft.
- d. 15 feet minimum between houses for lots ranging from 8,000 to 10,000 sq. ft.
- e. 10 feet minimum between houses for lots under 8,000 sq. ft.

3. Rear Yard Setbacks

20 feet minimum to house; no habitable structures within setback.

4. Building Height

35' maximum (for two story homes) and 24' (for one story homes) measured from finished floor to highest point of roof (excludes chimneys).

5. Allowed Projections Into Setbacks

Bay windows, fireplaces, balconies, decks, eaves, buttresses, potshelves, latticework, foundation columns, facades, or other similar architectural features may project a maximum of 2' into the rear yard and 4' into the front yard, except as modified below, but at no time project closer than 3' to the property line. No habitable space may project into the rear setback.

For lots 8,000 square feet and greater:

Unenclosed porches may project a maximum of 6 feet into front setback, and may run the entire length

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(100%) of the front elevation. All other allowable projections may project a maximum of 4 feet into the front yard and may not exceed a total combined length of 40% of the total front elevation.

For lots less than 8,000 square feet:

Unenclosed porches may project a maximum of 4' into front setback, and may run the entire length (100%) of the front elevation. All other allowable projections may project a maximum of 2' into the front yard and may not exceed a total combined length of 40% of the total front elevation.

6. Disallowed Projections

No projections of any type shall be placed above the roof of any residential dwelling, except one or more chimneys and vent stacks. In addition, no exterior radio antenna, "C.B." antenna, ham radio or other similar radio receiving or broadcasting device shall be permitted.

7. Fences and Walls

- a. Fences and walls shall be of masonry, stone, stucco, or tubular steel with color treatment consistent and integrated with adjacent buildings.
- b. Fences and walls shall not exceed a maximum height of 6 feet. Community soundwalls shall not exceed a maximum height of 8 feet (not including the height of berms).
- c. Additional requirements for fences and walls as they relate to community character and aesthetics are found in section 3.4.7.

4. PROJECT IMPLEMENTATION

4.1 INTRODUCTION

Chapter 4 establishes the steps that are necessary for the implementation of the Northeast Gateway Specific Plan. Initial actions by the Escondido City Council include certification of the Environmental Impact Report and approval of this Specific Plan document. The Northeast Gateway Specific Plan will be implemented through the various anticipated development projects within the SPA, beginning with the development of PA 1. Future development projects within the Northeast Gateway will be subject to the standards and guidelines set forth in this Specific Plan in addition to the City of Escondido's review processes and standards. Each project will be responsible for the preparation of its own tentative and final map, contribution of its fair share of public improvements, and compliance with the various environmental standards, permits, and processes described in this chapter.

During the development life of the Northeast Gateway Specific Plan changes may be needed which will require amendments to the Specific Plan. The Specific Plan Amendment process is described in Section 4.11 of this chapter.

4.2 SPECIFIC PLAN

The Northeast Gateway Specific Plan consists of this text and associated exhibits which, in effect, become the General Plan and Zoning Ordinance for the Northeast Gateway. The General Plan land use designation for the Northeast Gateway is "SPA," which results in a zoning designation of "Specific Plan," or S-P. Consequently, adoption of the Northeast Gateway Specific Plan precludes the need for a General Plan amendment or zone reclassification.

Major topics addressed in the Specific Plan include land use, circulation, open space, landscape design and community integrity. A description of the permitted uses, site development standards and special design criteria are provided in Chapters 2 and 3 of the Specific Plan.

The Northeast Gateway Specific Plan has been reviewed by the Escondido Planning Commission and City Council and adopted by City Council Resolution No. 2004-31R on March 10, 2004.

4.3 ENVIRONMENTAL IMPACT REPORT

An Environmental Impact Report (EIR) is anticipated to be prepared for the Northeast Gateway Specific Plan in accordance with the Guidelines for Implementation of the California Environmental Quality Act (CEQA). Due to the

conceptual nature of the Northeast Gateway Specific Plan and the uncertainty of future development projects beyond the anticipated development of PA 1, the Northeast Gateway EIR will be developed as a Program EIR, which takes into account various alternatives for the development of the Northeast Gateway.

The anticipated Program EIR will examine all potentially significant environmental impacts associated with the Specific Plan and identify mitigation measures capable of avoiding or substantially lessening those impacts.

Since the Program EIR will describe the impacts and mitigation measures generally for several alternative development paths for the Northeast Gateway, each future residential development project within the Northeast Gateway will be required to prepare an Initial Study, and, where necessary, a Mitigated Negative Declaration to focus the environmental review on the alternative realized by the proposed project.

Supplemental, project-specific EIRs generally will not be required for the future development projects within the Northeast Gateway if a Program EIR is adopted as the environmental impact document for the Northeast Gateway Specific Plan.

4.4 FACILITIES PHASING PLAN

The objective of the Northeast Gateway Facilities Phasing Plan is to coordinate the provision of public facilities with a logical sequence and pattern for residential development. The sequence of the development is dictated by the installation of drainage facilities, the extension of sewer and water service laterals off of the existing main lines, and the provision of circulation for access to the residential land use areas.

It is understood that each development project will provide the facilities required in a manner consistent with the Circulation and Public Facilities sections of Chapter 2 of this Specific Plan, subject to City standards and approval. Furthermore, all development projects, whether private residential or public and/or non-profit, shall contribute their fair share of the required facilities. Such contribution may be demonstrated either by material construction of the required improvements or participation in a fee district. The latter method of contribution is particularly appropriate for improvements constructed by a previous development that benefit a subsequent one.

Public development projects may also enter into development agreements with adjacent residential development projects for the construction of the required facilities and access.

The Escondido Creek channel effectively divides the Northeast Gateway into two facilities areas. Development projects occurring west of Escondido Creek will tie

into existing sewer and water lines in Jack's Creek Road. A sewer study will be required as part of the development process to determine if any upsizing of the East Washington Avenue sewer line will be required. The primary Specific Plan element improvement required for development of areas west of the Creek is the construction of Primary Local Street "A" west, including the construction of any crossings of the Escondido Creek channel.

Development projects occurring on the east side of the Escondido Creek channel will be required to construct the natural bottom drainage channels in advance of any other improvements, as the need to drain the site will determine the grading plan for the responsible project. All other facilities and access improvements will be constructed based on the fair-share principle described above.

Over the development lifetime of the Specific Plan, the Northeast Gateway Facilities Phasing Plan may change in response to changing market conditions or other currently unforeseen conditions. The phasing of development may be modified provided it can be shown that the modifications are in conformance with the provisions of the Northeast Gateway Specific Plan and that all required public improvements will be provided at time of need as determined by the City Engineer. Amendments to the Phasing Plan are considered administrative in nature and may be approved by the Director of Planning and Building, as described in Section 4.11 of this Chapter.

4.5 DEVELOPMENT PROCESS

All future development projects within the Northeast Gateway will proceed according to the standards of review and approval as established by the Subdivision Map Act and the Escondido Municipal Code and local procedures. Each proposed project shall develop a tentative map and site development plan which will be reviewed by the City for compliance with both City standards and the requirements of the Northeast Gateway Specific Plan.

At the time of the development of the Tentative Map, an initial study will be prepared to focus the Northeast Gateway Program EIR on the proposed development project. If found necessary, a mitigated negative declaration will be prepared for the project. Compliance with the mitigation measures described by the mitigated negative declaration will become a condition of approval for the final map.

Following approval of the tentative map, all future development projects shall be required to prepare final project plans. The purpose of final project plans is to determine that the individual project is being developed in a manner that conforms with the goals and standards specified by the Northeast Gateway Specific Plan and to assure compatibility with all appropriate city policies and ordinances.

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All future Northeast Gateway residential development applications are therefore subject to design review by Staff. Applications are also potentially subject to the City's Design Review Board (DRB) review, should Staff determine that the project is of sufficient size or scope to warrant DRB review. Design review, whether conducted by Staff or Staff and the DRB, will analyze the application for its compliance with both the site development and architectural standards described in the Northeast Gateway Specific Plan.

4.5.1 Final Project Plan Application

Final project plans are to be submitted to the Planning Division for review and shall include the following documents and materials:

1. A final grading plan. All grading within the Northeast Gateway SPA shall comply with the City's Grading Ordinance.
2. A project phasing program which explains the final project plan's relationship to the Northeast Gateway Phasing Plan described in Section 4.7 of this chapter. The project phasing plan shall identify all improvements from Chapter 2 of this Specific Plan required to service the project area and describe the development's participation in the fair-share improvement of the Northeast Gateway.
3. If applicable, documentation of conformance with the mitigation measures described in the mitigated negative declaration for the proposed project.
4. Whenever open space areas described in Section 2.7 of Chapter 2 are provided, the Director of Planning and Building shall, as a condition of the applicable final project plan, require that some provision be made for perpetual maintenance of said open space. Agreements and covenants running with the land shall include provisions for charges to be levied for carrying out the specific functions and administrative expenses of said perpetual maintenance. The City shall be a party in interest to any such agreements and covenants and may by mandatory injunction enforce the provisions thereof.
6. A site plan illustrating unit location for each lot.
7. Detailed elevations of all sides of each building model.
8. Floor plans for each home model.

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9. Color boards which depict finishes and colors.
10. Covenants, Conditions and Restrictions (CC&R's), if appropriate for the proposed project.
11. Site plan for temporary model home complex, if proposed.
12. Sign program.
13. Fencing plans.
14. Complete landscape working drawings and detailed irrigation plans.

4.5.2 Final Project Plan Review

The final project plan shall be reviewed by the Director of Planning and Building for conformance with the approved Northeast Gateway Specific Plan. The Director shall have the authority to approve, approve with conditions, or deny the final project plan application. Decisions of the Director may be appealed to the Planning Commission within 10 calendar days of the memorandum of the decision. The Planning Commission, in a public hearing, shall affirm, reverse or modify the decision of the Director of Planning and Building. The Planning Commission decision may be appealed to the City Council within 10 calendar days of resolution or memorandum of decision. The City Council, in a public hearing, shall affirm, reverse or modify the Planning Commission's decision. The City Council's decision shall be final.

4.5.3 Expiration

Unless otherwise specified in the action granting the final project plan, said plan which has not been vested within 18 months from the effective date shall become null and void. However, one or more extensions of time may be granted by the Director of Planning and Building.

A project developed under a development agreement may have an extended time to expiration, as negotiated with the Director of Planning and Building.

SPECIFIC PLAN**4.6 HOMEOWNERS' ASSOCIATION**

Depending on a number of factors including the number of residential units and the extent of private amenities associated with a development, a developer may establish a homeowners' association for the respective development project. The homeowners' association shall prepare Covenants, Conditions and Restrictions (CC&R's) which control the private uses, maintenance and development standards for the residential development. The CC&R's shall be submitted to the Engineering Department and Planning Division for approval prior to approval of the first final map.

The developer shall also submit a master maintenance plan showing all areas to be maintained by the homeowners' association to be approved by the Engineering Department and Planning Division prior to final map approval.

4.7 OTHER PROJECT APPROVALS

In addition to the approvals described above, development of the Northeast Gateway SPA may require the following approvals:

- 1 U.S. ARMY CORPS OF ENGINEERS – A U.S. Army Corps of Engineers 404 Permit may be required to allow residential development to encroach into wetlands.
2. CALIFORNIA DEPARTMENT OF FISH & GAME - A Fish & Game 1603 Streambed Alteration Agreement may be required for any impacts to Jack's Creek.

4.8 MAINTENANCE RESPONSIBILITIES

The Specific Plan anticipates that maintenance of landscape areas along East Valley Parkway and East Washington Avenue, Gateway areas and Primary Entries will be maintained through a coordinated maintenance program allocated on a projected residential yield basis. The exact form of this program will be established concurrently with the adoption of the Specific Plan.

All internal open space and common landscaped areas will be maintained through private homeowners associations established concurrent with final subdivision map approvals.

4.9 SPECIFIC PLAN AMENDMENTS

Approval of this Specific Plan signifies acceptance by the City of Escondido of a general framework and specific development standards for the Northeast Gateway SPA. It is anticipated that certain modifications to the Specific Plan text and exhibits may be necessary during the life of the project. Any modifications to the Specific Plan shall occur in accordance with the amendment process described in this section. These amendments, should they occur, are divided into two categories.

Administrative amendments allow for minor changes to the Specific Plan and may be approved by the Director of Planning and Building. All other proposed changes are considered formal amendments and shall be reviewed for approval by the Planning Commission and City Council. All amendments must be consistent with the General Plan and this Specific Plan.

4.9.1 Administrative Amendments

Upon the determination by the Director of Planning and Building, certain minor modifications to the Specific Plan text and/or exhibits may not require formal amendment proceedings (i.e. through public hearings). The Director of Planning and Building has the authority to administratively approve modifications to the Northeast Gateway Specific Plan as follows:

1. Expansions or reductions of the geographic area covered by a planning area. The land area modification shall not exceed by more than 5 percent, the gross acreage of the planning area, as stated in Table 1-2, Land Use Summary, provided all other land use requirements can be met.
2. Minor realignments or modifications of lot lines and easement locations if also approved by the City Engineer.
3. Modifications of design features such as architectural details, paving and entry treatments, fencing, lighting and landscaping, including open space areas, may be approved providing the modifications are in keeping with the design elements described in the Specific Plan.
4. Amendments to approved final project plans as described in Section 4.8 of this chapter may be allowed.
5. Changes to the Northeast Gateway Facilities Phasing Plan.

6. Adjustments of required setbacks, not to exceed 25 percent.

4.9.2 Formal Amendments

All Specific Plan modifications which do not meet the criteria of an administrative amendment, as described in this chapter, shall be deemed to require a formal amendment of the approved Specific Plan. All formal amendments shall be reviewed for approval by the Escondido Planning Commission and City Council. These amendments shall be processed pursuant to the same review process described for Amendments and Zone Changes, Division 4, Article 61, of the Escondido Zoning Code.

4.9.3 Amendment Applications

Whether classified as administrative or formal amendments, all such changes to the Specific Plan shall reflect the same comprehensive analysis which was undertaken in the adoption of the Specific Plan and may require additional environmental review. The amendment application shall satisfy the following criteria:

1. Demonstrate that the proposed amendment meets the goals and objectives of the General Plan and Specific Plan.
2. Ensure that any impacts from the amendment can be satisfactorily mitigated.
3. Provide a strikeout/underline copy of the Specific Plan text when changes are proposed and update any Specific Plan exhibits affected by the proposed amendment.
4. Update any Specific Plan technical studies and/or provide additional environmental studies deemed necessary by the Director of Planning and Building or the City Engineer.

5. CONFORMITY OF SPECIFIC PLAN WITH GENERAL PLAN

5.1 INTRODUCTION

The Escondido General Plan is the comprehensive statement of long-range public policy developed as the guide for future public and private land use. Through integrated and internally consistent policies and standards, the General Plan sets goals in regard to all major elements of comprehensive planning, including land use, circulation, transportation, community services and facilities, public safety, growth management, and natural and historic resource conservation. The General Plan also addresses methods by which the General Plan policies are to be implemented.

While Specific Plans are themselves comprehensive planning documents, their goals and policies must be consistent with the General Plan adopted by the community in which the Specific Planning Area is located. In the instance of defined Specific Planning Areas, the Escondido General Plan provides unique policies, standards, and guidelines with which future development within the SPA must comply.

The Northeast Gateway Specific Plan must comply with the policy statements, goals, and standards established in the General Plan for SPA 5. The following sections follow the SPA 5 narrative as contained within the General Plan and provide explanations as to how the Northeast Gateway Specific Plan conforms to the policy.

5.2 ANTICIPATED PROJECT

- 1: The focal point of this Specific Planning Area is intended to be a major park.

Response: The 67-acre Ryan Community Park, an active recreational area owned and maintained by the City of Escondido will be the major park facility envisioned for the Northeast Gateway. Located within PA 4, Ryan Park facilities will be constructed over four phases and at completion will include six lighted soccer fields, three lighted baseball fields, lighted multi-purpose courts, a playground, and concession stands. Within PA 5, the City has also constructed Dog Park, the City's first off-leash recreational area for dogs and their owners. Dog Park encompasses the northern 1.25-acre portion of the relatively level 7.7 acres located between the Escondido Creek channel and East Valley Parkway.

- 2: The Specific Plan will also provide for the preservation of steep slopes and recreational amenities.

Response: The slope analysis method prescribed by the General Plan for the calculation of residential yield permits the transfer of density from slopes greater than 25% to other portions of the site at the density factor of one residential unit per four acres. The result is the preservation of the scenic hillsides which represent approximately 29% of the SPA. The Northeast Gateway includes several opportunities for incorporating open space and public recreational areas into the open space system. Spur trail SE will be constructed along the Escondido Creek flood control channel, linking the Daley Ranch staging area (PA 5) to locations south of the SPA, and providing pedestrian and bicycle access to additional open space resources. Rural trail R-6 will be constructed along the eastern slopes of the SPA, linking the Ryan Park active recreational area with areas to the north of the SPA and providing an equestrian linkage from East Grove through the Northeast Gateway. A signalized crossing will be provided on East Valley Parkway within the SPA to provide east-west access to the open space resources of the Northeast Gateway and areas to the west.

- 3: Special emphasis will be placed on criteria which assure high quality architectural design for the residences and sensitivity to views along Valley Parkway and other public streets

Response: The Northeast Gateway Specific Plan provides detailed guidelines for landscape architecture and building architecture to assure that future development within the SPA integrates with existing residential and public development and provides a transition from urban to residential land use patterns. Minimum lot size ranges, illustrated on Exhibit 1-8b, are provided to ensure that future residential development will be compatible with the existing adjacent use, whether it is urban, residential, or natural open space.

The dramatic slopes lining the eastern and western boundaries of the SPA will be preserved as open space. Residential development along East Valley Parkway and the northern edge of East Washington Avenue will be buffered by landscaped setbacks of a minimum of 20 feet, which will also provide a pleasant view corridor for pedestrians and drivers.

5.3 GUIDELINES FOR THE PREPARATION OF THE SPECIFIC PLAN

5.3.1 Density

- 1: The overall density of the Specific Planning Area will relate directly to slope and shall be determined by the following formula as applied to all 418 acres of the SPA:

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- a. Areas with slopes of 10 percent or less shall not exceed 2 dwelling units per acre
- b. Areas with slopes between 11 and 25 percent shall not exceed 1 dwelling unit per 2 acres
- c. Areas with slopes over 25 percent shall not exceed 1 dwelling unit per 4 acres.

Response: The slope analysis and unit yield for SPA 5 is shown on Table 1-1. The Northeast Gateway Specific Plan Area contains 17 different ownerships including the City of Escondido. The slope analysis and yield were calculated on an ownership basis and aggregated for Planning Area, slope category, and SPA total. In accordance with City policy, fractional units were rounded down to the previous whole number for the total acreage per ownership within each slope category. Adding the total yields for each landowner results in the maximum density of 517 units for the entire Specific Plan Area.

Approximately 10 acres of the total SPA are contained within the Escondido Creek flood channel and the East Valley Parkway right-of-way. City policy does not assign density to these areas; therefore, their acreage is not included in the slope analysis. The slope analysis is based on the remaining 408 net developable acres contained within the SPA. Of that, approximately 241 acres or 59 percent of the net area consists of slopes ranging from 0-10% grade; approximately 48 acres or 12 percent of the SPA consists of slopes between 10 and 25% grade; and, 119 acres or 29% of the net area consists of slopes exceeding 25 percent grade.

- 2: The density of each Planning Area shall be determined by density transfer between the Planning Areas as part of the Specific Planning Process, provided that the overall density for the SPA may not be exceeded.

Response: Unit transfers may occur within the Northeast Gateway SPA in accordance with the terms of a development agreement. Redistribution of units derived from the 16 private ownerships, however, is not anticipated. A sizeable "bank" of public units is instead available, as discussed in item #3 below.

- 3: Consideration for similar density transfers may be included in the Specific Plan involving Planning Areas 3 and 4 if community facilities are included.

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Response: Prior to revision of SPA 5, the area incorporated approximately 440 acres and was divided into 4 Planning Areas. In 2000, the SPA description was amended to revise the focal project (major park instead of a golf course), and separate publicly-held land from privately held land.

As a result, the former PA 1 was divided into PAs 1 and 5, with 5 being the publicly-held land in the northwestern corner of the SPA. The area formerly designated "PA 3" was removed from the SPA and developed separately. The southwestern corner of the former PA 1 was owned by an individual unrelated to the ownership of the remainder of PA 1. The southwestern portion of PA 1 was separated and renamed PA 3.

The Northeast Gateway includes two areas owned by the City of Escondido and planned for public recreational uses. These areas include all of PA 5, approximately 81 acres, and the majority of PA 4, approximately 67 acres. Together, these parcels yield 167 potential dwelling units. Goal #3 above should thus be amended to read "Planning Areas 4 and 5..."

The General Plan has established that the density derived from the acreage held by the City may be transferred to other parcels within the Specific Plan Area, at the discretion of City Council, in return for public benefit. The exchange of benefit for public units shall be described in a development agreement.

5.3.2 Design

- 1: Detailed design guidelines shall be included within the Specific Plan which shall address, at a minimum, general design concepts, roof treatments, color, walls, and architectural details;
- 2: Due to the orientation and high visibility of the Specific Planning Area, side and rear elevations of all units shall receive the upgraded refinements and architectural detailing provided to primary elevation;
- 3: All development shall be subject to consistent architectural guidelines to assure compatibility with the surrounding community and environment, including views from all streets;

and

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- 4: The bulk and mass of structures shall be detailed in the Specific Plan, especially for perimeter lots where the greatest visual impacts exist. A proper mix of single-story and two-story residences of appropriate design shall be required to avoid a congested appearance.

Response: Chapter 3 addresses community design standards including landscaping and architecture. Definite product types are not provided in the Specific Plan because of the various ownerships and uncertain time to buildout. The purpose of the guidelines is to ensure that future development integrates with the existing community and furthers the aesthetics of the Northeast Gateway.

All future tentative maps shall be subject to the City's Design review committee which shall enforce the guidelines in Chapter 3 and ensure that all future development enhances the overall appearance of the Northeast Gateway.

- 5: Lot widths and building separations shall be generally larger along the perimeter of the Planning Areas with smaller lots allowed adjacent to the community facility and internal open space corridors.

Response: Future development projects shall comply with this policy unless an alternative is negotiated with the City.

5.3.3 Open Space

- 1: **Natural Open Space:**
All hillside slopes over 25 percent are preserved in natural open space by this Specific Plan. The preservation of these slopes is required due to their high visibility from East Valley Parkway. A fire management program for the natural areas will be included within the Specific Plan.

Response: The maximum residential density for the Northeast Gateway Specific Plan was determined by the General Plan slope analysis formula; consequently all slopes over 25% grade will be preserved as permanent open space. The majority of sensitive and scenic resources are located on these steeper slopes. All anticipated future development will take place on land that is currently disturbed for agriculture or currently developed with existing residential uses.

Chapter 3, Section 3.4.5 addresses fuel management within the Landscape standards. Fuel management standards comply with City and County requirements.

- 2: Gateway Entry:
The west side of East Valley Parkway at the north end of Planning Area 1 [now Planning Area 5] shall be landscaped and maintained as a Gateway Entry identifying the entry to the City.

Response: It is anticipated that the development agreement and tentative map for the development of PA 1, the largest single-owner area within the Northeast Gateway, will incorporate off-site improvements such as the landscaped Gateway Entry. Proposed treatments for the Gateway Entry are included in Chapter 3, Section 3.4, Landscape Concept.

- 3: Community Entry Areas:
Eight community entry areas shall be maintained as open space areas and shall be landscaped to provide entry identity for the Planning Areas. Four of these entry areas are located at the southerly entrance to the Specific Plan Area and four more are located at the neighborhood entries along East Valley Parkway. All of these sites shall be landscaped by the developers in accordance with the criteria of this Specific Plan.

Response: Safety concerns regarding the widening of East Valley Parkway have necessitated modification to this goal. The SPA access and circulation sections of Chapter 2 describe a conceptual circulation plan that limits access to and from East Valley Parkway to no more than two signalized intersections. This modification came at the request of the City of Escondido Engineering Department in response to the increase in width and volume of East Valley Parkway as it expands from two lanes to six.

Both intersections (East Valley Parkway – Street “A” and East Valley Parkway – Street “B”) will receive enhanced “Entry” landscape treatments as described in Chapter 3, Section 3.4. The landscape plan further recommends neighborhood entry features internal to the residential land use area. The implementation of these neighborhood features is subject to the future configuration of the residential development.

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To further limit turning movements and reduce potential safety hazards, one access will be provided off of East Washington Avenue, described as Primary Local Street "C" in Chapter 2.

4: Parkway Treatments:

In addition to the normal 10-foot parkway strip along East Valley Parkway, and the north side of East Washington Avenue, an additional 10 feet shall be dedicated which will allow for enhanced landscape treatment and meandering sidewalks. Landscaping shall be provided by the developer in accordance with the criteria of the Specific Plan and will be maintained by a long-term maintenance mechanism as required by the City of Escondido.

Response: Chapter 3 describes the implementation of streetscapes, including the landscaping and improvements within the enhanced setback along East Valley Parkway and East Washington Avenue.

A Lighting and Landscape Maintenance District (LLMD) is anticipated to maintain the enhanced setbacks.

5: Additional Open Space:

Hiking trails in steep slope areas consistent with the Open Space concept shall be addressed. Alignment for hiking trails within this SPA shall conform to the City's Master Plan of Trails.

Response: Regional connector rural trail "R6," as described in the City of Escondido's Master Plan for Parks, Trails, and Open Space, will be constructed within the natural open space area located along the eastern side of the SPA. The trailhead for the Daley Ranch preserve is anticipated to be constructed within the natural open space area of PA 5.

In addition, the Escondido Creek flood control channel will be landscaped and incorporated into the City's trail system as spur trail "SE," linking areas south of the SPA with the open space resources in PA 5.

5.3.4 Public Facilities

- 1: The Specific Plan shall include a section which describes public services and utilities that are available and that are needed for development. The section shall include, but not be limited to a discussion of sewer, water, police, fire, drainage, schools, solid

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wastes, health services and gas and electric service. Existing service capacity and anticipated demand shall also be included.

Response: Chapter 2 of the Specific Plan addresses public facilities.

- 2: Public facilities such as community or neighborhood parks, community centers or branch library may be considered in Planning Areas 2,3, and 4.

Response: The 67-acre Ryan Community Park is located within PA 4. It is an active recreational area owned and maintained by the City of Escondido and includes six lighted soccer fields, three lighted baseball fields, lighted multi-purpose courts, a playground, and concession stands. Within PA 5, the City has also constructed Dog Park, the City's first off-leash recreational area for dogs and their owners. Dog Park encompasses the northern 1.25-acre portion of the relatively level 7.7 acres located between the Escondido Creek channel and East Valley Parkway.

PA 2 consists primarily of smaller residential lots under private ownership, and PA 3 has one private owner. It is anticipated that PA 2 and 3 will be developed as single-family residential projects.

5.3.5 Landscaping

- 1: A detailed landscape plan shall be included within the Specific Plan. The landscape plan shall address, at a minimum, a fire management program and standards for walls/fences, entries, streetscapes, signs, and lighting. Landscaping shall also be used to provide windbreaks, solar access, and shading. The plan shall address plantings on manufactured slopes and in areas of potential erosion.

Response: Chapter 3, Section 3.4 addresses the landscape plan for the Northeast Gateway. The landscape plan addresses the fire management program and basic standards for streetscapes, fences and walls, and entry treatments, including both major Gateway entries and smaller neighborhood entries. Project-specific landscape design will be at the discretion of the developers of the future residential projects and subject to compliance with the Specific Plan landscape plan and City Design Review Board approval.

SPECIFIC PLAN**6. APPENDICES****6.1 FINANCING****6.1.1 Types of Financing**

The following list describes several sources of funding for the improvements described in the Northeast Gateway SPA. Some sources are more appropriate than others for any one particular improvement. The sources listed below were included with the intention of describing the most common funding methods that may be employed over the life of the Northeast Gateway Specific Plan; however, the funding of the various improvements within the Northeast Gateway need not be limited to the methods described below.

1. Developer Funding

Under this method, the developer will fund and construct certain required facilities prior to or concurrent with development of their particular property. Facilities to be funded in this way are those which normally would be imposed through a direct nexus relationship as conditions of approval of a tentative map under the City's development review process.

2. Development Impact Fees

Capital Improvement Programs (CIP) of the City of Escondido and special districts contain plans to construct certain major public facilities. Over the lifetime of the Northeast Gateway Specific Plan, certain facilities required as a pre-requisite for development may be included in the City of Escondido's CIP or special district program. Sources of funds for these facilities are development impact fees which are collected at issuance of building permit.

Development projects within the Northeast Gateway will pay a Public Art development fee at the rate of fifteen cents per square foot of building. The purpose of this fee is to fund public art projects in the community. Subject to approval by the City Council, the Public Art fee may be used to fund the heritage preservation monuments in the Northeast Gateway as previously described in Sections 3.4.4 and 3.4.5.

3. Developer Funding with Development Fee Reimbursement

If a developer constructs a facility which is included in a City development impact fee program, the developer may be reimbursed from the applicable fee fund, subject to the following conditions:

- Sufficient, unobligated funds are available
- The reimbursement is consistent with the priority of project funding shown in the most recent adopted CIP
- The reimbursement shall not exceed the maximum amount budgeted on the most recent adopted CIP

Costs eligible for reimbursement shall be limited to those that are directly related to the construction of the facility, as determined by the City Engineer.

4. Mello-Roos Community Facilities District

A community facilities district is a special tax, secured by the underlying properties. The tax is assessed each year for public facilities acquisition, development, and maintenance. The funds in the Mello-Roos district are used for a specific purpose and therefore require the approval of the majority of the property owners within the district.

5. Negotiated Development Agreements

A negotiated development agreement is a contract between the City of Escondido and the developer that stipulates the conditions under which development would be approved in exchange for vested rights to subdivide and develop. Development agreements are voluntary contracts and offer both the City and the developer flexibility in the type and extent of conditioned improvements without the need for establishing a nexus relationship.

6. Benefit Assessment District

While not a funding source for the development or extension of public facilities, benefit assessment districts are useful sources of funding for the maintenance of public amenities, such as those described in Chapter 3 of the Specific Plan. In a benefit assessment district, such as a lighting and landscape maintenance

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district, the property owners within the neighborhood that benefits from a particular improvement pay a fee that goes to the upkeep of that improvement.

6.1.2 Public Facility Improvement Financing Summary

The following sections describe the various public facility improvements anticipated in conjunction with the development of the Northeast Gateway over the lifetime of this Specific Plan. Each item is described in terms of the anticipated improvement and the most likely source for funding at the time of the development of this Specific Plan. It is conceivable that before the end of the life of the Northeast Gateway Specific Plan, new funding mechanisms may become available for use in developing the facilities for the Northeast Gateway. The Northeast Gateway Specific Plan will not require amendment to accommodate new funding sources and mechanisms.

1. Potable Water Facilities**Improvement**

Extension of water mains from the existing transmission pipelines to future developments.

Source of Funds

This facility will be funded and constructed concurrent with development either as a developer funded improvement or as part of a facility fees district ("developer funding with development fee reimbursement"), depending on the sizing of the improvement constructed.

2. Sewer Facilities**Improvement**

Extension of residential sewer service from the existing mains to future developments.

Source of Funds

This facility will be funded and constructed concurrent with development either as a developer funded improvement or as part of a facility fees district ("developer funding with development fee reimbursement"), depending on the sizing of the improvement constructed.

SPECIFIC PLAN**3. Electricity and Natural Gas****Improvement**

Extension of services to future developments.

Source of Funds

This facility will be funded and constructed pursuant to City policy and SDG&E regulations.

4. Solid Waste Removal**Improvement**

Extension of service to future developments.

Source of Funds

If a developer or homeowners' association chooses to use the City of Escondido's contract waste removal service, this facility will be funded through fees assessed to the individual property as determined by the Escondido Department of Public Works. If a homeowners' association chooses to contract with a hauler different from the one under contract with the City of Escondido, fees will be assessed to the individual property owner by the homeowners' association per the terms of the contract with the waste removal service.

5. Circulation Facilities**Improvement**

- a. Expansion of East Valley Parkway from two to six traveling lanes.
- b. Construction of local roads to service the residential land use areas of the Northeast Gateway.
- c. Installation of traffic signals at the intersections of the local roads and East Valley Parkway.
- d. Construction of vehicular crossings of the Escondido Creek Flood Control Channel on the border of PA 1 and PA 5.

Source of Funds

- a. The four central traveling lanes and median on East Valley Parkway will be constructed as part of a Federal grant project to which the City of Escondido will contribute approximately 12% of the cost.

Full frontage improvement along those sections of East Valley Parkway that abut existing private land will be

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financed either by developer funding or by the terms of a negotiated development agreement.

- b. These improvements will be provided through developer funding.
- c. If the City Engineer determines that traffic signals are necessary, this improvement will be provided through either developer funding or by the terms of a negotiated development agreement. A developer funded improvement in the absence of a negotiated development agreement may be eligible for reimbursement.
- d. The crossings will be provided through either developer funding or by the terms of a negotiated development agreement.

6. Drainage Facilities**Improvement**

Installation of drainage channels and water quality basins as described in Chapter 2.

Source of Funds

The developer or developers of the Northeast Gateway will be responsible for the construction of these facilities as dictated by a direct nexus relationship. The improvements may be financed through developer funding or through the terms of a negotiated development agreement.

7. Open Space Facilities**Improvement**

- a. Construction of Ryan Park and Dog Park facilities.
- b. Construction of Rural Trail R6.
- c. Improvement of Spur Trail SE.
- d. Improvement of Urban Trail #8.
- e. Construction of pedestrian circulation through East Valley Parkway setback.
- f. Maintenance of all enhanced setbacks and trails.

Source of Funds

- a. Community park facilities will be financed through the City of Escondido's Park and Recreation Facilities fee and/or In-lieu fees.

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- b. Rural trail R6 will be funded and constructed in sections by the developers and/or volunteers, or through the terms of negotiated development agreements.
- c. Spur Trail SE is an existing Water District maintenance road. Additional improvements, such as landscaping and fencing will be funded by the developers of the Northeast Gateway or through the terms of a negotiated development agreement.
- d. Urban Trail #8 is a sidewalk at the curb of East Washington Avenue. Additional improvements, such as landscaping will be funded by the developers of the Northeast Gateway or through the terms of a negotiated development agreement.
- e. Pedestrian circulation and the enhanced, landscaped setback along East Valley Parkway will be funded by the developer or developers of the Northeast Gateway or through the terms of a negotiated development agreement.
- f. The maintenance of the enhanced setbacks on East Valley Parkway and all other public improvements occurring within or immediately adjacent to public roads or rights-of-way will be financed through benefit assessment district (lighting and landscape maintenance district) fees.

SPECIFIC PLAN**6.2 ORIGINAL SPA #5 GENERAL PLAN NARRATIVE DESCRIPTION**
(As contained in Escondido General Plan, May 1990)**I. Location**

Specific Planning Area (SPA) #5, the Northeast Gateway, consists of approximately 440 acres located in the northeast part of Escondido along the east and west sides of Valley Parkway directly north of El Norte Parkway and south of Lake Wohlford Road.

II. Site Description

The SPA is divided into four Planning Areas

The area covered by the Specific Plan is characterized by relatively flat land in the central portion of the site with slopes over 25 percent located in the western and eastern portions. These steep slopes also border Planning Areas 1 and 3 on the west. The slopes rise rapidly from flat areas which were primarily used for agricultural purposes at the time of the Specific Plan adoption. This change in topography is one of the key physical characteristics of the area.

Elevations with Planning Area 1 range from over 1050 feet MSL in the hilly eastern part of the property to about 725 MSL in the level valley bottom area. The west-facing slopes on the eastern end of the property are its most dominant physical features, and these slopes continue rising upward off-site to the East.

Planning Area 2 elevations range from about 1250 feet MSL in the eastern part of the property to 730 feet MSL along the valley bottom boundary. This area has a hilly terrain with west-facing slopes that continue from Area 1.

Planning Area 3 is a relatively flat area except for a major ridgeline on the westerly side of the area. Elevations range from 710 feet in the flat area to 932 at the top of the ridge.

Planning area 4 is located on the south end of the Specific Plan. The area is flat except for the hillside at elevation 925 MSL.

III. Anticipated Project

The focal point of this Specific Planning Area is intended to be the 18-hole executive municipal golf course. If a municipal golf course is determined by the City to be inappropriate for the project area, the City may permit another type of major community facility, such as a major park, as the focal point for the new

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project. The Specific Plan will also provide for the preservation of steep slopes and recreational amenities. Additionally, special emphasis will be placed on criteria which assure high-quality architectural design for the residences and sensitive to views along Valley Parkway and other public streets.

The Specific Planning Area is divided into four geographical planning areas:

A. Planning Area 1:

includes approximately 245 acres and is located along both sides of Valley Parkway. This Planning Area will allow an 18-hole executive municipal golf course with a driving range and club house or other community facility such as a park and/or community center. In addition, detached single-family residences will be constructed in the area.

The density of the area will be established through density transfer negotiations as part of the Specific Plan approval.

B. Planning Area 2:

consists of about 89 acres and is located east of Valley Parkway and north of Planning Area 1. This Planning Area constitutes the other half of the gateway to the city; therefore, it is imperative that the design of the residences and parkway design be compatible with Planning Area 1. A portion of this area contains slopes over 25 percent that will be preserved in open space. The development in this area will be at a lower density than Planning Area 1.

C. Planning Area 3:

contains 28 acres and is located directly south of Planning Area 1, west of Valley Parkway and north of East Washington Avenue. As an integral part of the Specific Planning Area, Planning Area 3 will include high-quality architectural and landscape design which complements Planning Area 1 to the north and the existing single-family residences located south of East Washington Avenue (El Norte Parkway).

D. Planning Area 4:

consists of approximately 67 acres and is bounded by Valley Parkway to the west and Planning Area 1 to the north. Planning Area 4 will serve as a transition area between the golf course to the north and the slopes of Beacon Hills to the south. The development in this area will be at a lower density than Planning Area 1.

IV. Guidelines for Preparation of the Specific Plan

Nonresidential uses within the SPA may develop under a conditional use permit without the benefit of a specific plan or Subarea Facilities Plan since the merits of such proposals usually hinge upon land use compatibility rather than facilities needs.

No residential development will be permitted in this Specific Planning Area until a Specific Plan is adopted by the City Council pursuant to requirements of Section 65460, et seq., of the State Government Code. In addition to the requirements of State law, this Specific Plan shall provide:

A. Density

- 1.Environmental constraints, site design, requirements for road dedications, internal and external land use compatibility issues and slopes are factors which will determine actual densities.
- 2.Densities in the Specific Planning Area will relate directly to slope. Areas with slopes of 10 percent or less shall not exceed 2 dwelling units per acre. Areas with slopes between 11 and 25 percent shall not exceed 1 dwelling unit per 2 acres. Areas with slopes over 25 percent shall not exceed 1 dwelling unit per 4 acres. With the 140 acres of open space and a golf course or community facilities, the maximum number of dwelling units in Planning Area 1 shall not exceed 280. Without the golf course or community facility, the density in Planning Area 1 shall be determined by the slopes formula above.
- 3.Considerations for similar density transfers may be included in Specific Plans involving Planning Areas 2 and 4 if community facilities are included.
- 4.The minimum lot side in Planning Area 4 shall be one acre.

B. Design

1. Detailed design guidelines shall be included within the Specific Plan which shall address, at a minimum, general design concepts, roof treatments, color, walls, and architectural details.
2. Due to the orientation and high visibility of the Specific Planning Area side and rear elevations of all units shall receive the upgraded

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refinements and architectural detailing provided to primary elevations

3. All development shall be subject to consistent architectural guidelines to assure compatibility with the surrounding community and environment, including views from all streets.
4. Lot widths and building separations shall be generally larger along the perimeter of the Planning Areas with smaller lots allowed adjacent to the golf course or a community facility and internal open space corridors.
5. The bulk and mass of structures shall be detailed in the Specific Plan, especially for perimeter lots where the greatest visual impacts exist. A proper mix of single-story and two-story residences of appropriate design shall be required to avoid a congested appearance.

C. Open Space

Different types of open space shall be provided in the Specific Plan. The focal point of the Specific Plan is intended to be the 18-hole municipal executive golf course or other community facility. Additional open space shall be provided by the preservation of all slopes over 25 percent, greenbelts and the expanded parkways along Valley Parkway resulting in not less than 20 feet in landscape width for each parkway.

1. Golf Course/Community Facility:

140 acres of Planning Area 1 will be maintained as open space. This includes an eighty-acre golf course with club house, putting green and driving range or community facility such as a park. An addition 60 acres of the Planning Area consists of slopes generally over 25 percent in grade. The slopes will be maintained as natural open space.

2. Natural Open Space:

All hillside slopes over 25 percent are preserved in natural open space by this Specific Plan. Approximately 30 acres of the steep slopes are located in Planning Area 1. The preservation of these slopes is required due to their high visibility from East Valley Parkway.

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Planning Area 2 has over 38 acres of 25 percent or greater slopes. These slopes are all located on the east hillside which also contains a large stand of oak trees in the preservation area. Planning Area 3 has 10 acres of steep slopes required for preservation under the Specific Plan. These areas comprise the significant ridge line at the very southwest corner of the Planning Area

Planning Area 4 has 10 acres of 25 percent or greater slopes located on the south side of Cloverdale Road. This area also contains a stand of oak trees that shall be preserved by the Specific Plan. A fire management program for the natural areas will be included within the Specific Plan.

3. Gateway Entry:

The west side of East Valley Parkway at the north end of Planning Area 1 shall be landscaped and maintained as a Gateway Entry identifying the entry to the City.

4. Community Entry Lots:

Eight community entry lots shall be maintained as open space areas and shall be landscaped to provide entry identities for the Planning Areas. Four of these entry areas are located at the southerly entrance to the Specific Plan Area and four more are located at the neighborhood entries along East Valley Parkway. All of these sites shall be landscaped by the developers in accordance with the criteria of this Specific Plan.

5. Parkway Treatments:

In addition to the normal 10-foot parkway strip along East Valley Parkway and the north side of East Washington Avenue, an additional 10 feet shall be dedicated which will allow for enhanced landscape treatment and meandering sidewalks. Landscaping shall be provided by the developer in accordance with the criteria of the Specific Plan and will be maintained by a long-term maintenance mechanism as required by the City of Escondido.

6. Additional Open Space:

- (a) Landscaped greenbelts shall be included in Specific Plans which connect developments with the golf course or community facility.

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(b) Hiking trails in steep slope areas consistent with the Open Space concept shall be addressed. Alignment for hiking trails within this SPA shall conform to the City's Master Plan of Trails.

D. Public Facilities

1. The Specific Plan shall include a section which describes public services and utilities that are available and that are needed for development. The section shall include, but not be limited to a discussion of sewer, water, police, fire, drainage, schools, solid wastes, health services and gas and electric service. Existing service capacity and anticipated demand shall also be included.
2. Public facilities such as community or neighborhood parks, community centers or branch library may be considered in Planning Areas 2, 3, and 4.

E. Landscaping

A detailed landscape plan shall be included within the Specific Plan. The landscape plan shall address, at a minimum, a fire management program and standards for walls/fences, entries, streetscapes, signs, and lighting. Landscaping shall also be used to provide windbreaks, solar access, and shading. The plan shall address plantings on manufactured slopes and in areas of potential erosion.

SPECIFIC PLAN**6.3 REVISED SPA #5 GENERAL PLAN NARRATIVE DESCRIPTION**
(As amended by Resolution No. 2000-186 R)**I. Location**

Specific Planning Area (SPA) #5, the Northeast Gateway, consists of approximately 418 acres located in the northeast part of Escondido along the east and west sides of Valley Parkway directly north of El Norte Parkway and south of Lake Wohlford Road.

II. Site Description

The SPA is divided into five Planning Areas

The area covered by the Specific Plan is characterized by relatively flat land in the central portion of the site with slopes over 25 percent located in the western and eastern portions. These steep slopes also border Planning Areas 1 and 3 on the west. The slopes rise rapidly from flat areas which were primarily used for agricultural purposes at the time of the Specific Plan adoption. This change in topography is one of the key physical characteristics of the area.

Elevations with Planning Area 1 range from over 1050 feet MSL in the hilly eastern part of the property to about 725 MSL in the level valley bottom area. The west-facing slopes on the eastern end of the property are its most dominant physical features, and these slopes continue rising upward off-site to the East.

Planning Area 2 elevations range from about 1250 feet MSL in the eastern part of the property to 730 feet MSL along the valley bottom boundary. This area has a hilly terrain with west-facing slopes that continue from Area 1.

Planning Area 3 is a relatively flat area adjacent to Escondido Creek and Washington Avenue.

Planning area 4 is located on the south end of the Specific Plan. The area is flat except for the hillside at elevation 925 MSL.

Planning Area 5 is located in the northwestern portion of the Specific Plan and is level in areas adjacent to Escondido Creek on the valley floor, rising over 200 feet in western portions.

SPECIFIC PLAN**III. Anticipated Project**

The focal point of this Specific Planning Area is intended to be a major park. The Specific Plan will also provide for the preservation of steep slopes and recreational amenities. Additionally, special emphasis will be placed on criteria which assure high-quality architectural design for the residences and sensitive to views along Valley Parkway and other public streets.

The Specific Planning Area is divided into five geographical planning areas:

A. Planning Area 1:

includes approximately 167 acres and is located along both sides of Valley Parkway. Detached single-family residences will be constructed in the area.

The final density and lot size mixture of the area will be established through density transfer and Specific Plan review and approval.

B. Planning Area 2:

consists of about 89 acres and is located east of Valley Parkway and north of Planning Area 1. This Planning Area constitutes the other half of the gateway to the city; therefore, it is imperative that the design of the residences and parkway design be compatible with Planning Area 1. A portion of this area contains slopes over 25 percent that will be preserved in open space. The development in this area will be at a lower density than Planning Area 1.

C. Planning Area 3:

contains 11 acres and is located directly south of Planning Area 1, west of Valley Parkway and north of East Washington Avenue. As an integral part of the Specific Planning Area, Planning Area 3 will include high-quality architectural and landscape design which complements Planning Area 1 to the north and the existing single-family residences located south of East Washington Avenue (El Norte Parkway).

D. Planning Area 4:

consists of approximately 70 acres and is bounded by Valley Parkway to the west and Planning Area 1 to the north. Planning Area 4 will serve as a transition area between areas to the north and the slopes of Specific Planning Area #12 to the south. The development in this area will be at a lower density than Planning Area 1.

SPECIFIC PLAN**E. Planning Area 5:**

consists of approximately 81 acres and is located on the west side of Valley Parkway, north of Planning Area 1. Planning Area 5 contains steep slopes in the western portion with flatter areas adjacent to Escondido Creek. This area will primarily be devoted to open space, recreational or other similar uses determined appropriate by the City.

IV. Guidelines for Preparation of the Specific Plan

Nonresidential uses within the SPA may develop under a conditional use permit without the benefit of a specific plan or Subarea Facilities Plan since the merits of such proposals usually hinge upon land use compatibility rather than facilities needs.

No residential development will be permitted in this Specific Planning Area until a Specific Plan is adopted by the City Council pursuant to requirements of Section 65460, et seq., of the State Government Code. In addition to the requirements of State law, this Specific Plan shall provide:

A. Density

1. Environmental constraints, site design, requirements for road dedications, internal and external land use compatibility issues and slopes are factors which will determine actual densities.
2. The overall density of the Specific Planning Area will relate directly to slope and shall be determined by the following formula as applied to all 418 acres of the SPA:
 - (a) Areas with slopes of 10 percent or less shall not exceed 2 dwelling units per acre.
 - (b) Areas with slopes between 11 and 25 percent shall not exceed 1 dwelling unit per 2 acres.
 - (c) Areas with slopes over 25 percent shall not exceed 1 dwelling unit per 4 acres.

The density of each Planning Area shall be determined by density transfer between the Planning Areas as part of the Specific Planning Process, provided that the overall density for the SPA may not be exceeded.

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3. Considerations for similar density transfers may be included in Specific Plans involving Planning Areas 2 and 4 if community facilities are included.
4. The minimum lot size in Planning Area 4 shall be one acre.

B. Design

1. Detailed design guidelines shall be included within the Specific Plan which shall address, at a minimum, general design concepts, roof treatments, color, walls, and architectural details.
2. Due to the orientation and high visibility of the Specific Planning Area side and rear elevations of all units shall receive the upgraded refinements and architectural detailing provided to primary elevations.
3. All development shall be subject to consistent architectural guidelines to assure compatibility with the surrounding community and environment, including views from all streets.
4. Lot widths and building separations shall be generally larger along the perimeter of the Planning Areas with smaller lots allowed adjacent to the community facility and internal open space corridors.
5. The bulk and mass of structures shall be detailed in the Specific Plan, especially for perimeter lots where the greatest visual impacts exist. A proper mix of single-story and two-story residences of appropriate design shall be required to avoid a congested appearance.

C. Open Space

Different types of open space shall be provided in the Specific Plan. The focal point of the Specific Plan is intended to be Francis Ryan Community Park. Additional open space shall be provided by the preservation of all slopes over 25 percent, greenbelts and the expanded parkways along Valley Parkway resulting in not less than 20 feet in landscape width for each parkway.

1. Natural Open Space:

All hillside slopes over 25 percent are preserved in natural open space by this Specific Plan. Approximately 30 acres of the steep

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slopes are located in Planning Area 1. The preservation of these slopes is required due to their high visibility from East Valley Parkway.

Planning Area 2 has over 38 acres of 25 percent or greater slopes. These slopes are all located on the east hillside which also contains a large stand of oak trees in the preservation area. Planning Area 3 has 10 acres of steep slopes required for preservation under the Specific Plan. These areas comprise the significant ridge line at the very southwest corner of the Planning Area

Planning Area 4 has 10 acres of 25 percent or greater slopes located on the south side of Cloverdale Road. This area also contains a stand of oak trees that shall be preserved by the Specific Plan. A fire management program for the natural areas will be included within the Specific Plan.

2. Gateway Entry:

The west side of East Valley Parkway at the north end of Planning Area 1 shall be landscaped and maintained as a Gateway Entry identifying the entry to the City.

3. Community Entry Areas:

Eight community entry areas shall be maintained as open space areas and shall be landscaped to provide entry identities for the Planning Areas. Four of these entry areas are located at the southerly entrance to the Specific Plan Area and four more are located at the neighborhood entries along East Valley Parkway. All of these sites shall be landscaped by the developers in accordance with the criteria of this Specific Plan.

4. Parkway Treatments:

In addition to the normal 10-foot parkway strip along East Valley Parkway and the north side of East Washington Avenue, an additional 10 feet shall be dedicated which will allow for enhanced landscape treatment and meandering sidewalks. Landscaping shall be provided by the developer in accordance with the criteria of the Specific Plan and will be maintained by a long-term maintenance mechanism as required by the City of Escondido.

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5. Additional Open Space:

- (a) Landscaped greenbelts shall be included in Specific Plans which connect developments with the golf course or community facility.
- (b) Hiking trails in steep slope areas consistent with the Open Space concept shall be addressed. Alignment for hiking trails within this SPA shall conform to the City's Master Plan of Trails.

D. Public Facilities

- 1. The Specific Plan shall include a section which describes public services and utilities that are available and that are needed for development. The section shall include, but not be limited to a discussion of sewer, water, police, fire, drainage, schools, solid wastes, health services and gas and electric service. Existing service capacity and anticipated demand shall also be included.
- 2. Public facilities such as community or neighborhood parks, community centers or branch library may be considered in Planning Areas 2, 3, and 4.

E. Landscaping

A detailed landscape plan shall be included within the Specific Plan. The landscape plan shall address, at a minimum, a fire management program and standards for walls/fences, entries, streetscapes, signs, and lighting. Landscaping shall also be used to provide windbreaks, solar access, and shading. The plan shall address plantings on manufactured slopes and in areas of potential erosion.

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